

To: Bidding Contractors

Date: July 10, 2026

From: Christopher Police, RA

Project: VCSD 2024 Capital Project

Add. No.: Pre-Bid Addendum 002

A d d e n d u m

The contents of this addendum alter and amend the original drawings, specifications, and/or previous addendum and take precedence over the related items therein.

The following items are included in Pre-Bid Addendum 002:

CLARIFICATIONS

1. The second pre-bid walk through has been revised to be on the shall take place on Wednesday July 15, 2026, at 1:00 PM.

QUESTIONS/RESPONSES

1. Alternate #1: Does the HP-2 Heat Pump need to be included in this alternate?

Response: HP-2 is base bid scope of work. This serves Cafeteria.

2. Alternate #2: Does the RTU-1 unit need to be included in this alternate?

Response: Yes, Per the documents, "Add Alternate #002 – include all work, all trades for work associated with the gymnasium scope of work"

3. Alternate #3: What is included in the roof recovery?

Response: Refer to drawing HS A-2.0. under this scope the existing roof shall receive new protection board and membrane over the existing roofing.

4. As noted in the bid documents and as discussed during the Pre-Bid Meeting, the cut-off for pre-bid RFI's to be submitted for response is noon on 7/9/26. By that date, most prime contractors have spent time going through the documents getting familiar with the documents

and identifying items that may require an RFI for further clarification. However, many of the subcontractors, some heavily counted on by the Prime Contractors for specific scopes, do not even begin looking at the documents until the week just prior to the bid date - in this case presently 7/16/26. Can the cut-off for pre-bid RFI's be extended until 7/13/26?

Response: Refer to Pre Bid Addendum 001.

5. Discussed during the Pre-Bid Meeting was the potential to identify an Allowance for purpose of creating an elevated platform for all trades to work from at Clayton Ave. Elementary School's Auditorium. There is work to be provided by many trades at the ceiling level throughout the entire space. Identifying an Allowance to be included in one of the Prime Contract's bid proposal's to cover the cost of providing a platformed scaffolding system - with the platform set at -6'-0" from underside of existing ceiling providing a work surface for all trades to work from may prove to be the most efficient method to accomplish the required work without making each contractor responsible for providing their own means to access the elevated work over the existing fix seated auditorium area. An allowance as opposed to a contractor including an estimated amount would be the best approach. This allows for some leeway for needs of trades to get worked out through trade coordination once the project begins, allows for an unknown timeframe the platform will be needed as each trade's time on it will vary, and can be for funding temporary protection of the fixed seating below (ie. covering with heavy plastic to prevent dust build-up on cushioned seats) as well as a final clean of the space. All contractors looking to use would still be required to have their own Competent Person to inspect prior to use and likely be required to sign documentation accepting responsibility to use the elevated platform that'll be provided/assigned to be provided by one Prime Contractor. Please consider and advise?

Response: GC to carry a \$50,000 Allowance for the Auditorium (Add Alternate #001).

Note: Regarding Add Alternate #2 – Gym. G.C. to provide (2) layers of 7/16 OSB, all joints tapped with a polyethylene sheeting between the flooring and OSB sheeting. (Floor protection)

6. Under 23 09 23 sect 1.5.G, the specs states "in lieu of existing Tridium System, "the ATC bidder has the option to replace existing Tridium System throughout the building" C+S Niagara is listed as acceptable in the associated sub paragraph. Sect 2.2 states "system shall operate on the Tridium Niagara platform and hardware, therefore, the option or requirement to replace the existing system would not apply, correct?

Response: Correct, replacing system would not apply.

7. The proposal forms and unit prices for the abatement contract do not appear to have been properly broken out. They are shown under a GC contract?

Response: Reference revised specification sections issued under this addendum

8. Note 4 on H-004 states "All surfaces that need to be abated to prepare them for contract work shall be in the ERC's scope of work whether they are shown on these drawings or not" Please confirm. Please confirm that these areas shaded and the quantity provided for the work is (100 SF) is the scope. Such a description is ambiguous and certainly does not fall inline with laws and guidelines for a clear scope for public bidding

Response: The requested information is included in the Contract Documents, and bidders shall use the Contract Documents as the basis for preparation of their Bid

9. There are labor force notes shown on the drawings specifying multiple shifts and a number of workers. This information does not seem to be for this project as the labor force demand do not appear to align with quantity of work. Please clarify this a just a copy and paste error and it does not apply to this project.

Response: The requested information is included in the Contract Documents, and bidders shall use the Contract Documents as the basis for preparation of their Bid

10. The abatement specification has "applicable" certification requirements for the abatement contractor. While I realize such a general specification section allows and architect to send the same specification out for every project. One of these items is PCB certifications. Please confirm that there is no PCB abatement on this project

Response: The Contract Documents do not identify any PCB abatement work for this Project: the referenced specification requirements are included as a NYSED requirement to address their protocols and procedures to be followed, where applicable, if the PCB-containing materials are encountered.

11. The specification referenced calls for the entire gas piping system to be welded with exception of screwed joints at equipment connections. Does this include all pipe sizes? Or are threaded connections acceptable on sizes 2" and smaller?

Response: Yes, 2" and smaller can be screwed joints.

12. Would Viega MegaPress G style fittings be allowed for pipe sizes 4" and smaller?

Response: Yes, MegaPress is acceptable for gas piping.

13. Who is responsible for painting of the exterior gas piping?

Response: Plumbing Contractor is responsible for painting piping. See specification section 22 10 00.

- 14.
- a. Is the existing ductbank from transformer to building encased in concrete?
 - b. Where does the 2" communication conduit terminate in the building?
 - c. Does the existing ductbank from the transformer to the building get replaced?

Response:

- a. Uncertain. Would need to be field verified
- b. The 2"C is required by NYSEG for a dedicated telephone line. Run into main electrical room and provide telephone cabling to demarc location
- c. Existing ductbank shown on drawing to be modified with additional conduits added. However due to uncertainty of the condition of existing ductbank, the ductbank should be bid as new

SPECIFICATIONS

1. **00 11 00 NOTICE TO BIDDERS** – Issued Revised Specification

2. **00 40 10 PROPOSAL FORM**– Issued Revised Specification
3. **01 21 00 ALLOWANCES** - Issued Revised Specification
4. **01 22 00 UNIT PRICES** - Issued Revised Specification

DRAWINGS

5. **HS-A-7.0** – Issued Revised Drawing

CP/CP

Copies to: J:\2025-067 Vestal 2024 Capital Project\Construction Admin\Addenda\Pre-Bid
Addendum 002\VCSD - 2024 Capital Project - Pre Bid Addendum 002.docx

SECTION 00 11 00 - NOTICE TO BIDDERS

PART 1 - GENERAL REQUIREMENTS

NOTICE IS HEREBY GIVEN, that sealed proposals in **duplicate** are sought and requested by the Board of Education, **Vestal Central School District** (hereinafter called "Owner"), for 2024 Capital Project (Renovations to High School, Clayton Ave. Elementary and Vestal Hills Elementary)

Proposals are requested for the Prime Contractors.

1. CONTRACT No. #1: Prime Contract- General / Site
2. CONTRACT No. #2: Prime Contract- Mechanical and Controls
3. CONTRACT No. #3: Prime Contract- Electrical
4. CONTRACT No. #4: Prime Contract- Plumbing
5. CONTRACT No. #5: Prime Contract- Abatement

The project will be constructed in conjunction with the purchases of additional elements of the project through state contract. Those Prime Contracts are listed below.

N/A

In accordance with Drawings, Project Specifications, and other Bidding and Contract Documents prepared by:

Highland Associates
102 Highland Ave.
Clarks Summit, Pennsylvania 18411

The **District Representative** for the project is:

LeChase Construction
11849 East Corning Rd
Corning, NY 14830
Contact: Jeff Bond
jeff.bond@leCHASE.com
(607)-857-1620

There will be a **Pre-Bid walkthrough on June 30, 2026 @ 10:00 AM -** Meet at CM office in Central JR. (Park in the back of the building. Use door 4 at the top of the ramp. Rm 104)

VESTAL CSD
CAPITAL PROJECT 2024
SR HIGH SCHOOL SED#: 03-16-01-06-0-001-024
CLAYTON AVE ELEM SED#: 03-16-01-06-0-003-022
VESTAL HILLS ELEM SED#: 03-16-01-06-0-011-012
HA PN: 2025-067P

NOTICE TO BIDDERS
SECTION 00 11 00
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There will be a Pre-Bid walkthrough on July 15, 2026 @ 1:00 PM - Meet at CM office in Central JR.
(Park in the back of the building. Use door 4 at the top of the ramp. Rm 104)

All questions prior to bid opening must be received by 12pm on 7/23/2026 (No Exceptions). Questions shall be directed to Jeff Bond at LeChase Construction at email jeff.bond@leCHASE.com. All bidders request for information shall use the form located in specification 00 12 00 - Request for Information. A digital copy of this form is available upon request.

A sealed proposal will be received by the Owner until no later than **2:00 PM** local time on **Thursday, July 30, 2026** at:

Bid to:
Board of Education Vestal City Central School District
201 Main Street
Vestal, NY 13850

at which time and place all bids will be opened and publicly read aloud.

As bid security, each Bid shall be accompanied by a certified check or Bid Bond made payable to the Owner, in accordance with the amounts and terms described in the INSTRUCTIONS TO BIDDERS and the SUPPLEMENTARY INSTRUCTIONS TO BIDDERS.

Copies of said documents may be obtained from:

Dataflow Inc.
19 S. Washington St
Binghamton, NY 13903

Bidders may register to view the CONTRACT DOCUMENTS online, free of charge, on our project portal : <http://www.nyplanroom.com>

Click Register Now to obtain valid username and password
OR by visiting : www.bxpa.org

Click Register Now to obtain valid username and password
OR by visiting : www.nyplanroom.com

Click Find Projects
Under Register Projects, click Highland Associates: Vestal CSD – 2024 Capital Project

Click **Register Now** to obtain valid username and password

VESTAL CSD
CAPITAL PROJECT 2024
SR HIGH SCHOOL SED#: 03-16-01-06-0-001-024
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NOTICE TO BIDDERS
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Printed copies of CONTRACT DOCUMENTS may be obtained by calling Dataflow at (607) 772-2001. A printed set of documents may be purchased for a refundable deposit of \$49.00. Dataflow will ship documents via UPS Ground upon request. The cost of the shipping (if applicable) is the responsibility of the BIDDER, and payable to Dataflow, Inc. To avoid shipping costs, documents may be picked up at any of Dataflow's 7 locations.

Electronic files of CONTRACT DOCUMENTS may be purchased for a non-refundable fee.

(see www.goDataflow.com and click on "where we are" for a listing of locations).

No Partial sets or sections of the Contract Documents will be distributed.

PART 2 - STIPULATIONS

PART 3 - The Owner requires that all bids shall comply with the bidding requirements specified in the INSTRUCTION TO BIDDERS. The Owner may, at its discretion, waive informalities in bids, but is not obligated to do so, nor does it represent that it will do so. The Owner also reserves the right to reject any and all bids. Under no circumstances will the Owner waive any informality that, by such waiver, would give one Bidder a substantial advantage or benefit, not enjoyed by all other Bidders. No Bidder may withdraw his Bid before forty-five (45) days after the actual date of the opening thereof unless a mistake or error is claimed by the Bidder in accordance with INSTRUCTIONS TO BIDDERS.

END OF SECTION 00 11 00

SECTION 00 40 10 – PROPOSAL FORM - FORM OF PROPOSAL

Contract Number and Description: _____

Date: _____

Submitted By: _____
(Name of Bidder)

Address: _____

Telephone: _____ Email: _____

Bid To: (Owner): Board of Education Vestal City Central School District
 201 Main Street
 Vestal, New York 13850

For the Project: **CAPITAL PROJECT - 2024**

I the Contractor, hereby certify that I have carefully examined and fully comprehend the requirements and intent of the plans and specifications for this project as prepared by **Highland Associates**, and that we have personally inspected the actual location of the work, together with regional sources of supply, and are satisfied as to all the quantities and conditions, and understand that in signing this proposal, I waive all right to plead any misunderstanding regarding the same.

I the Contractor further understand and agree that I will do, perform and complete all work in accordance with the Contract Documents and to accept in full compensation therefor the amount of the Total Bid, modified by such additive or deductive alternates, if any, as are accepted by the Owner.

BASE PROPOSAL – 2024 CAPITAL PROJECT

I agree, without reservation, to perform and complete all documented and specified Work of this Contract, for the Lump Sum of:

Cost

_____ Dollars (\$ _____)

ALTERNATES

Add Alternate #001 Clayton Ave. Auditorium

Cost

Dollars (\$ _____)

Add Alternate #002 Clayton Ave. Gym

Cost

Dollars (\$ _____)

Add Alternate #003 Vestal High School Roof

Cost

Dollars (\$ _____)

UNIT PRICING

The undersigned agrees, if awarded the Contract, to perform work "in addition to" or "deducted from" the scope of the Contract Documents as directed by the Owner and/or Construction Manager, computed in accordance with the unit prices hereinafter listed, which prices include all overhead, profit, and other expense items in connection therewith, subject to the terms of the Contract Documents.

All unit prices include the installation or omission, complete for each item, together with all work in connection therewith and shall include all shoring, bracing, dewatering, and other incidental work.

Unit prices shall be the total compensation for the item and include all overhead, profit, and any other charges of the Contractor and/or subcontractor in connection therewith.

Adjustments will be computed on net variation of total quantities of like items.

The Owner reserves the right to accept or reject any and/or all of the unit prices listed below prior to the execution of the Contract.

The Owner reserves the right to determine extent of unit price work to be performed, and that portions of unit price work may be performed by the Contractor or others at the Owner's discretion.

ITEM NO.	ITEM NAME	UNIT OF MEASURE	UNIT PRICE
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Abatement – Contract #5 Unit Costs

Asbestos Abatement Unit Costs

UP-A01	Polyethylene Tent and Glovebag, “Minor Asbestos Project”	LF SF	_____ _____
UP-A02	Full Isolation & Attached Decontamination Unit, of a “Small Asbestos Project” or “Large Asbestos Project”	SF	_____
UP-A03	Full Isolation & Remote Decontamination Unit, of a “Small Asbestos Project” or “Large Asbestos Project”	SF	_____
UP-A04	Non-friable BUR/EDPM Roofing System, Asbestos- Contaminated Rooftop Units (RTU’s), Bituminous Patching or Caulks at Roof Patching Caulks.	LF SF	_____ _____
UP-A05	Non-Friable Resilient Flooring Systems, including Cove Bases and their Mastics	SF	_____

General / Sitework – Contract #1 Unit Costs

UP-L01	Undercutting unsatisfactory soils	CY	_____
UP-L02	Soil stabilization fabric	SY	_____
UP-L03	Stormwater management trench (SMT)	LF	_____
UP-L04	Milling and top course asphalt	SY	_____
UP-L05	Medium duty asphalt (MDA)	SY	_____
UP-L06	Heavy duty asphalt (HDA)	SY	_____

UP-L07	Lawn	SY	
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Refer to Section 01 22 00 - Unit Pricing for additional information

PLUMBING ADDITIONAL MATERIALS (PER SECTION 1.5 22 00 00 OF SPECIFICATION)

1.	Double offset for each 80' run	Each	_____
2.	One offset for each 80' run	Each	_____
3.	(5) ¾" Ball valves	Per 5	_____
4.	(5) 1 ½" Ball valves	Per 5	_____
5.	(2) ¾" Check valves	Per 2	_____
6.	(2) 1 ½" Check valves	Per 2	_____
7.	(5) ¾" Unions	Per 5	_____
8.	(5) 1 ½" Unions	Per 5	_____
9.	(5) ¾" Dielectric unions	Per 5	_____
10..	(5) 1 ½" Dielectric unions	Per 5	_____
11.	(2) ½" Balancing vales	Per 2	_____
12.	(1) Type A floor drain	Per 1	_____
13.	(1) Type B floor drain	Ea.	_____
14.	(5) Floor cleanouts	Ea.	_____
15.	(2) Supply trap and tailpiece kits	Per 2	_____
16.	Expansion loop with anchors	Each	_____

STIPULATIONS

In submitting this Bid I agree:

VESTAL CSD
CAPITAL PROJECT 2024
SR HIGH SCHOOL SED#: 03-16-01-06-0-001-024
CLAYTON AVE ELEM SED#: 03-16-01-06-0-003-022
VESTAL HILLS ELEM SED#: 03-16-01-06-0-011-012
HA PN: 2025-067P

PROPOSAL FORM
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1. To hold my bid proposal open for 45 days after the actual date of the bid opening.
2. To accept the provisions of the Instruction to Bidders regarding disposition of Bid Security.
3. To enter into and sign a Contract, if awarded, on the basis of this Bid and to furnish all bonds and insurances as required by the General Conditions and Instructions to Bidders.
4. To comply with all applicable labor laws.

ADDENDA

The undersigned acknowledges receipt of the following addenda, but agrees he is bound by all addenda issued, whether or not listed herewith:

No. _____ Dated: _____

No. _____ Dated: _____

No. _____ Dated: _____

No. _____ Dated: _____

REQUIRED BID ATTACHMENTS:

1. Statement of Surety Intent
2. Non-Collusive Bidding Certification
3. Bid Security
4. Corporate Resolution
5. Certification of Compliance Iran Divestment Act

ACCEPTANCE

If written notice of the acceptance of this bid is delivered to the undersigned within forty-five (45) days after the date of the opening of the bids, or at any time thereafter before this bid is withdrawn, the undersigned will within ten (10) days after the date of such delivery execute and deliver a contract in the form of AIA Document A101, 2017 Edition.

Company Name

Authorized Signature

Address

Title

City / State / Zip Code

Date

Telephone No.

Email Address

STATEMENT OF SURETY INTENT

To: **VESTAL CENTRAL SCHOOL DISTRICT**

We have reviewed the Bid of _____ ,
(Contractor)
of _____ ,
(Address)

For: 2024 **Capital Project** —. Bids for which will be received on:

(Bid Opening Date)

And wish to advise that should this Bid of Contractor be accepted, and the Contract be awarded such company, it is our present intention to become Surety on the Performance Bond and Labor and Material Bond required by the Contract. Any arrangement for the bonds required by the Contract is a matter between the Contractor and ourselves and we assume no liability to you or third parties if for any reason we do not execute the requisite bonds.

We are duly authorized to do business in the State of New York.

ATTEST:

Surety's Company Name

Telephone No.

Surety's Authorized Signature

Attach Power of Attorney
(Corporate seal if any.
If no seal, write "NO SEAL"
Across this place and sign.)

SECTION 01 21 00 - ALLOWANCES

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes administrative and procedural requirements governing allowances.
- B. Types of allowances include the following:
 - 1. Contingency allowances.
- C. Related Requirements:
 - 1. Section 01 26 00 "Contract Modification Procedures" for procedures for submitting and handling Change Orders.

1.3 DEFINITIONS

- A. Allowance: A quantity of work or dollar amount included in the Contract, established in lieu of additional requirements, used to defer selection of actual materials and equipment to a later date when direction will be provided to Contractor. If necessary, additional requirements will be issued by Change Order.
- B. Costs Not Included in Allowances: Costs for overhead and profit for items purchased and installed under Allowances. It is the responsibility of the Contractor to include overhead and profit as part of the Base Bid.

1.4 CONTINGENCY ALLOWANCES

- A. Use the contingency allowance only as directed by Architect for Owner's purposes and only by Change Orders that indicate amounts to be charged to the allowance.
- B. At Project closeout, credit unused amounts remaining in the contingency allowance to Owner by Change Order.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 PREPARATION

- A. Coordinate materials and their installation for each allowance with related materials and installations to ensure that each allowance item is completely integrated and interfaced with related work.
- B. Responsibilities:
 - 1. Consult with the Owner and Architect for consideration and selection of products, suppliers, and installers.
 - 2. Obtain proposals from suppliers and installers and offer recommendations.
 - 3. Prepare Change Order.
 - 4. On notification of acceptance, execute purchase agreement with designated supplier and installer.
 - 5. Arrange for and process shop drawings, product data, and samples. Arrange for delivery.
 - 6. Promptly inspect products upon delivery for completeness, damage, and defects. Submit claims for transportation damage.
- C. Funds will be drawn from Allowances only by Change Order. Assignment of additional work directed in the field is at the discretion of the Owner.

3.2 SCHEDULE OF ALLOWANCES

- A. \$ 50,000 – General Trades Prime Contract
- B. \$ 150,000 – Mechanical Contractor
- C. \$ 50,000 – Electrical Trades Prime Contract
- D. \$ 5,000 – Plumbing Trades Prime Contract
- E. \$50,000 – General Trades Prime Contract (Applicable to Add Alternate #002. Provide scaffolding for use by all trades relating to work und Add Alternate #002)

PART 4 - PRODUCTS – NOT USED

PART 5 - EXECUTION – NOT USED

END OF SECTION 01 21 00

SECTION 01 22 00 - UNIT PRICES

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes administrative and procedural requirements for unit prices.
- B. Related Requirements:
 - 1. Section 012600 "Contract Modification Procedures" for procedures for submitting and handling Change Orders.

1.3 DEFINITIONS

- A. Unit price is an amount incorporated into the Agreement, applicable during the duration of the Work as a price per unit of measurement for materials, equipment, or services, or a portion of the Work, added to or deducted from the Contract Sum by appropriate modification, if the scope of Work or estimated quantities of Work required by the Contract Documents are increased or decreased.

1.4 PROCEDURES

- A. Unit prices include all necessary material, plus cost for delivery, installation, insurance, overhead, and profit.
- B. Measurement and payment criteria applicable to Work performed under a unit price payment method.
- C. Payment will not be made for any of the following:
 - 1. Products wasted or disposed of in a manner that is not acceptable.
 - 2. Products determined as unacceptable before or after placement.
 - 3. Products not completely unloaded from the transporting vehicle.
 - 4. Products placed beyond the lines and levels of the required Work.
 - 5. Products remaining on hand after completion of the Work.
 - 6. Loading, hauling, and disposing of rejected Products.

- D. Owner reserves the right to reject Contractor's measurement of work-in-place that involves use of established unit prices and to have this work measured, at Owner's expense, by an independent surveyor acceptable to Contractor.
- E. List of Unit Prices: A schedule of unit prices is included. Specification Sections referenced in the "Schedule of Unit Prices" Article contain requirements for materials described under each unit price.

1.5 UNIT QUANTITIES SPECIFIED

- A. Quantities indicated in the Bid Form are for bidding and contract purposes only. Quantities and measurements of actual Work will determine the payment amount.
- B. The Owner reserves the right to accept or reject any or all of the unit prices prior to execution of the Contract.
- C. The Owner reserves the right to determine extent of the unit price work to be performed and that portions of unit price work may be performed by the Contractor or others at the Owner's discretion.

1.6 MEASUREMENT OF QUANTITIES

- A. Measurement methods delineated in the individual specification sections complement the criteria of this Section. In the event of conflict, the requirements of the individual specification section govern.
- B. Take all measurements and compute quantities. Measurements and quantities will be verified by the Construction Manager.
- C. Assist by providing necessary equipment, workers, and survey personnel as required.
- D. Measurement Devices:
 - 1. Weigh Scales: Inspected, tested and certified by the applicable state Weights and Measures department within the past year.
 - 2. Platform Scales: Of sufficient size and capacity to accommodate the conveying vehicle.
 - 3. Metering Devices: Inspected, tested and certified by the applicable State department within the past year.
- E. Measurement by Weight: Concrete reinforcing steel, rolled or formed steel or other metal shapes will be measured by handbook weights. Welded assemblies will be measured by handbook or scale weight.
- F. Measurement by Volume: Measured by cubic dimension using mean length, width and height or thickness.

- G. Measurement by Area: Measured by square dimension using mean length and width or radius.
- H. Linear Measurement: Measured by linear dimension, at the item centerline or mean chord.
- I. Stipulated Price Measurement: Items measured by weight, volume, area, or linear means or combination, as appropriate, as a completed item or unit of the Work.
- J. Perform surveys required to determine quantities, including control surveys to establish measurement reference lines. Notify the Construction Manager prior to starting work.
- K. Contractor's Engineer Responsibilities: Sign surveyor's field notes or keep duplicate field notes, calculate and certify quantities for payment purposes.

1.7 DEFECT ASSESSMENT

- A. Replace Work, or portions of the Work, not conforming to specified requirements.
- B. If, in the opinion of the Construction Manager, it is not practical to remove and replace the Work, will direct one of the following remedies:
 - 1. The defective Work may remain, but the unit price will be adjusted to a new unit price at the discretion of the Construction Manager and A/E.
 - 2. The defective Work will be partially repaired to the instructions of the, and the unit price will be adjusted to a new unit price at the discretion of the Construction Manager and A/E A/E.
- C. The individual Specification Sections may modify these options or may identify a specific formula or percentage sum/price reduction.
- D. The authority of the Construction Manager or the A/E to assess the defect and identify payment adjustment is final.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 SCHEDULE OF UNIT PRICES

A. CONTRACT No. 5 : Abatement

- 1. Unit Price UP-A01: Polyethylene Tent and Glovebag, "Minor Asbestos Project"
 - a. Description: Provide a unit price for removal and disposal, with polyethylene tent and glovebag, of a "minor asbestos project".
 - b. Unit of Measurement: Linear foot removed and disposed.

- c. Unit of Measurement: Square foot removed and disposed.
- 2. Unit Price UP-A02: Full Isolation & Attached Decontamination Unit, of a “Small Asbestos Project” or “Large Asbestos Project”
 - a. Description: Provide a unit price for removal and disposal, full isolation & attached decontamination unit, of a “small asbestos project” or “large asbestos project”.
 - b. Unit of Measurement: Square foot removed and disposed.
- 3. Unit Price UP-A03: Full Isolation & Remote Decontamination Unit, of a “Small Asbestos Project” or “Large Asbestos Project”
 - a. Description: Provide a unit price for removal and disposal, full isolation & remote decontamination unit, of a “small asbestos project” or “large asbestos project”.
 - b. Unit of Measurement: Square foot removed and disposed.
- 4. Unit Price UP-A04: Non-friable BUR/EDPM Roofing System, Asbestos-Contaminated Rooftop Units(RTU’s), Bituminous Patching or Caulks at Roof Patching Caulks.
 - a. Description: Provide a unit price for removal and disposal of non-friable BUR/EDPM roofing system, asbestos-contaminated rooftop units(RTU’s), bituminous patching or caulks at roof patching caulks.
 - b. Unit of Measurement: Linear foot removed and disposed.
 - c. Unit of Measurement: Square foot removed and disposed.
- 5. Unit Price UP-A05: Non-friable Resilient Flooring Systems, including Cove Bases and their Mastics
 - a. Description: Provide a unit price for removal and disposal of non-friable resilient flooring systems, including cove bases and their mastics.
 - b. Unit of Measurement: Square foot removed and disposed.
 - c.

B. CONTRACT No. 1: General / Sitework Capital Project

- 1. Unit Price UP-L01: Undercutting
 - a. Description: Undercutting where unsatisfactory soils are discovered. This includes excavation, removal and haul away of unsuitable material, backfill and compaction with suitable granular material as specified in Section 311201.
 - b. Unit of Measurement: Cubic yard, installed.
- 2. Unit Price UP-L02: Soil Stabilization Fabric
 - a. Description: Woven soil stabilization fabric furnished and installed as described in Section 321201.
 - b. Unit of Measurement: Square yard, installed.
- 3. Unit Price UP-L03: 4" Storm Water Management Trench (SMT):
 - a. Description: 4" Storm water management trench (SMT) piping, filter fabric and drainage stone, furnished and placed. This includes trenching and removals.
 - b. Unit of Measurement: Linear foot, installed.
- 4. Unit Price UP-L04: Milling And Top Course Asphalt

- a. Description: Asphalt milling and removal of existing top course asphalt and installation of new top course asphalt. This includes milling, removal, sweeping, crack repairs, tack coating, and new top course asphalt as specified.
 - b. Unit of Measurement: Square yard, installed.
5. Unit Price UP-L05: Medium Duty Asphalt (MDA):
- a. Description: Medium duty asphalt, stabilization fabric and stone sub-base. This includes excavation and removals to asphalt sub-grade for placement of medium duty asphalt.
 - b. Unit of Measurement: Square yard, installed.
6. Unit Price UP-L06: Heavy Duty Asphalt (HDA):
- a. Description: Heavy duty asphalt, stabilization fabric and stone sub-base. This includes excavation and removals to asphalt sub-grade for placement of heavy duty asphalt.
 - b. Unit of Measurement: Square yard, installed.
7. Unit Price UP-L07: Lawn Type 1:
- a. Description: Lawn Type 1 (Seed). This includes fine grading, seeding, mulching, and maintenance.
 - b. Unit of Measurement: Square yard, installed.

END OF SECTION 01 22 00

ROOM FINISH SCHEDULE											
SPACE			FLOOR	BASE	WALLS NOTE: FOR PURPOSES OF THE FINISH SCHEDULE "NORTH" SHALL BE CONSIDERED TO BE THE TOP OF THE SHEET.				CEILING		FINISH NOTES
FLOOR	NO.	NAME			N	E	S	W	FIN.	HGT.	
L O O K I N G U P	110	AUDITORIUM	F-1 / F-4	B-1	-	P-EX	-	P-EX	P-2	EXISTG	-
											SEE NOTES:

FINISH LEGEND:

FLOORINGS

F-1: MODULAR CARPET TILE
MANUF: INTERFACE
COLLECTION: AERIAL
STYLE: AE310
COLOR: #104625 "GREIGE"
SIZE: 500m x 500m
INSTALLATION: NON-DIRECTIONAL
CONTACT: ERICA GROH
PH: 717-617-7844

F-2: VINYL COMPOSITE TILE
MANUF: ARANSTRONG FLOORING
STYLE: STANDARD EXCELON
IMPERIAL TEXTURE
COLOR: #51947 "BASIL GREEN"
SIZE: 12" x 12"
INSTALLATION: MONOLITHIC
SEE ARCH & DEMO PLANS
CONTACT: DOUG FULMER
PH: 717-945-4010

F-3: SOLID VINYL TILE (NOT USED @ HS)

F-4: INDUSTRIAL FLOOR COATING SYSTEM
MANUF: SHERWIN WILLIAMS
STYLE: RESUFLO SYSTEM
(2) COATS #3579 PRIMER
(1) COAT #4887 SEALER
COLOR: TO BE SELECTED FROM
MANUFACTURERS STANDARD
COLOR CHART BY ARCHITECT
DURING SHOP DRAWING REVIEW.
CONTACT: DOUG DERKACS
PH: 908-309-8709

BASE MATERIALS:

B-EX: RESILIENT BASE
MFGR: TO MATCH EXISTING
STYLE: TO MATCH EXISTING
COLOR: TO MATCH EXISTING
SIZE: TO MATCH EXISTING

B-1: 6" HIGH RUBBER BASE
MFGR: ROPPE
STYLE: 6TH STANDARD TOE BASE
COLOR: #147 "LIGHT BROWN"

RESILIENT TRANSITIONS
PROVIDE ROPPE REDUCERS/ADAPTERS:
• AS REQUIRED AT EDGES OF DIFFERENT
HEIGHT FLOORINGS.
• AS REQUIRED AT EDGES OF SAME OR
VERY SIMILAR HEIGHT FLOORINGS.
COLOR: # 147 "LIGHT BROWN"

WALL FINISHES / PAINTS:

P-EX: PAINT (TO MATCH EXISTING)
VARIOUS EXISTING PAINT COLORS EXIST
WITHIN THE ADMINISTRATIVE BUILDING AT
WALLS, CEILINGS, DOORS AND FRAMES.
COLOR INFORMATION MAY BE AVAILABLE
FROM THE DISTRICT; HOWEVER, COLOR
MATCHING MAY ALSO BE REQUIRED. FIELD
VERIFY COLOR AND SHEEN AT AREAS OF
PATCH AND REPAIR WORK.

P-1: PAINT
MANUF: PPG PAINTS
COLOR: "DOGWOOD BLOSSOM"
NUMBER: PPG14-24

P-2: PAINT
MANUF: PPG PAINTS
COLOR: "DELICATE WHITE"
NUMBER: PPG1001-1

CEILINGS:

C-1: DISTRICT STANDARD ACT (NOT USED @ HS)

C-2: ACOUSTICAL CEILING TILE
MANUF: ARMSTRONG
STYLE: ULTIMA LAY-IN
ITEM: #1910
COLOR: "WHITE"
SIZE: 24" x 24" x .34"
ACOUSTICS: 0.75 NRC / 35 CAC
GRID: PRELUDE XL 1/4"
GRID COLOR: WHITE
NOTES: THIS TILE AND GRID SHALL BE USE AT
ALL LOCATIONS IDENTIFIED AS TILE AND/
OR TILE AND GRID REPLACEMENT, AS
INDICATED ON THE ARCH. DWGS

NOTE: CEILING PAINTS ARE REFERENCED FROM THE
LIST OF WALL PAINTS AT LEFT

DOORS:

D-1: WOOD DOOR
MANUF: FORTE or EQUAL
(TO MATCH DISTRICT STANDARD)
SPECIES: PLAIN SLICED RED OAK
SIZE: SEE DOOR SCHEDULE
STAIN: TO MATCH EXISTING
(FORMERLY GRAHAM #225)
FINISH: TO MATCH EXISTING

D-2: ALUMINUM GLAZED
STYLE: PER ARCH. SPECIFICATION
COLOR: TO BE SELECTED FROM MANUF.
STANDARD COLORS & CONFIRMED
BY ARCHITECT DURING SHOP
DRAWING REVIEW.

D-3: PAINTED H.M.
MANUF: BENJAMIN MOORE
COLOR: IRON GATE
NUMBER: 1545

FRAMES:

FR-1: PAINTED H.M.
MANUF: BENJAMIN MOORE
COLOR: IRON GATE
NUMBER: 1545

FR-2: ALUMINUM
STYLE: PER ARCH. SPECIFICATION
COLOR: TO BE SELECTED FROM MANUF.
STANDARD COLORS & CONFIRMED
BY ARCHITECT DURING SHOP
DRAWING REVIEW.

NOTE: UTILIZE INDUSTRIAL PAINT SYSTEM SUITABLE
FOR BOTH NEW AND PREVIOUSLY PAINTED H.M.
FRAMES.

MILLWORK:

SOL-1: SOLID SURFACE SILLS
MANUF: LX HAUSYS
DISTRB: ALLEGHENY PLYWOOD
STYLE: HI-MACS SOLID SURFACE
COLOR: "STEEL CONCRETE"
PRODUCT: #5317
CONTACT: BRE HILL
PH: 610-258-8703

GENERAL NOTES for INTERIOR FINISHES:

- FOR PURPOSES OF THE FINISH SCHEDULE, NORTH SHALL BE CONSIDERED TO BE THE TOP OF THE SHEET - PLEASE NOTE - THIS IS NOT CONSISTENT WITH "TRUE NORTH" AS INDICATED ON THE FLOOR PLANS.
- PAINTED FINISHES SHALL BE AS FOLLOWS:
 - UNLESS OTHERWISE NOTED, PAINTED GYPSUM WALLS AND SOFFITS SHALL BE "SATIN" FINISH. PAINTED GYPSUM CEILINGS SHALL BE "FLAT" FINISH - SHERWIN WILLIAMS PROMAR 200 ZERO VOC INTERIOR LATEX SERIES.
 - ADJUST SHEEN PER MFGR. RECOMMENDATIONS FOR DARKER COLORS TO AVOID BURNISHING. COLORS SHALL BE AS PER THE FINISH SCHEDULE.
 - UNLESS OTHERWISE NOTED, PAINTED H.M. AND WOOD DOORS, FRAMES AND TRIMS SHALL BE "SEMI-GLOSS" FINISH - SHERWIN WILLIAMS PRO-INDUSTRIAL ACRYLIC SERIES.
- PAINT METAL FRAMES AROUND VISION PANELS IN HM DOORS TO MATCH THE DOOR (OR FRAME) AT WHICH IT OCCURS, TYPICAL.
- PAINT METAL FRAMES AROUND VISION PANELS IN WOOD DOORS TO MATCH THE HM FRAME AT WHICH IT OCCURS, TYPICAL.
- FACES & DOORS OF ELEC. PANELS, ACCESS PANELS, HATCHES, ETC. WHICH OCCUR AT SURFACES SHALL BE PAINTED TO MATCH THE WALL / CEILING AT WHICH IT OCCURS (INCLUDING NEW ITEMS THAT HAVE AN UNMATCHED FACTORY ENAMEL FINISH) - THE EXCEPTION SHALL BE ITEMS WHICH HAVE A BRASS, ANOD. ALU., STAINLESS OR BRONZE FACTORY FINISH.
- PROVIDE AND INSTALL REDUCERS, TERMINATIONS, AND THRESHOLDS AS REQUIRED AT TRANSITIONS AND/OR TERMINATIONS OF FLOORINGS INCLUDING AT DOORWAYS AND OPEN THRESHOLDS. COLOR AND STYLE OF RESILIENT REDUCERS SHALL BE AS INDICATED IN THE FINISH LEGEND.
- INCLUDE 10% ATTIC STOCK OF EACH FLOOR AND CEILING FINISH SPECIFIED. PROVIDE ALL EXCESS MATERIALS FROM OPEN CARTONS AND USABLE CUT PIECES OF MATERIALS TO THE OWNER AS ATTIC STOCK. RESEAL THE MATERIALS IN THEIR ORIGINAL CARTONS AND PLACE IN STORAGE AS DIRECTED BY THE OWNER.
- PRODUCTS AND MATERIALS LISTED AT THE FINISH LEGEND SHALL BE BID AS SHOWN WITHOUT INTENT FOR SUBSTITUTIONS UNLESS SUBMITTED AND APPROVED BY THE ARCHITECT IN ADVANCE OF BIDDING. ALL MATERIALS HAVE BEEN SELECTED BASED UPON THEIR PERFORMANCE CRITERIA AND SPECIFICATION DATA, AS WELL AS THEIR CAREFUL COORDINATION TO THE COLOR SCHEME. ANY PROPOSED SUBSTITUTIONS SHALL BE SUBMITTED WITH ALL APPLICABLE SPECIFICATION DOCUMENTATION AND ACTUAL SAMPLES OF COLORS AND FINISHES, AND SHALL BE EVALUATED FOR FACTORS INCLUDING BUT NOT LIMITED TO STYLE, PERFORMANCE, FINISH, COLOR PATTERN, TEST DATA, WORKMANSHIP, ETC. NO SUBSTITUTIONS OF MATERIALS SHALL BE ALLOWED OR ACCEPTED WHICH THE ARCHITECT HAS NOT APPROVED IN WRITING PRIOR TO THE SUBMISSION OF BIDS.

ADDITIONAL FINISHES SCOPE:

- REFERENCE ALL ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND ABATEMENT DRAWINGS FOR FULL EXTENT OF SPACES THAT ARE AFFECTED BY DEMOLITION AND/OR RENOVATIONS. PATCH AND REPAIR EXISTING FINISHES IN KIND WHICH ARE DISTURBED BY DEMOLITION AND/OR RENOVATION AT ALL AREAS WITHIN THE SCOPE OF WORK WHICH ARE NOT OTHERWISE ADDRESSED ON A ROOM BY ROOM BASIS IN THE FINISH SCHEDULE ABOVE, AS WELL AS SPACES WITHIN THE FINISH SCHEDULE WHICH ARE DESIGNATED w/ EXISTING FINISHES TO REMAIN.
 - ANTICIPATE SURFACE PREP & REPAIRS RELATED TO DEMOLITION AS WELL AS SURFACE PREP AND REPAIRS WHICH MAY BE REQUIRED FOR INSTALLATION OF NEW & PATCHING OF EXIST'G FINISHES.
 - INSTALLATION OF NEW DOORS AND/OR FRAMES WHICH OCCUR IN SPACES WHICH ARE NOT DESIGNATED TO RECEIVE NEW FINISHES WITHIN THE SCHEDULE ABOVE SHALL REQUIRE PATCH AND REPAIR OF EXIST'G FINISHES TO REMAIN. PROVIDE WALL FINISH, FLOOR FINISH & BASE MATERIAL PATCHES AND REPAIRS AT EACH LOCATION.
 - WALL PAINTS WHICH CANNOT BE MATCHED FOR COLOR AND/OR SHEEN SHALL BE RE-PAINTED IN THEIR ENTIRETY.
 - ALL EXISTING HM DOORS AND/ OR HM FRAMES OCCURRING WITHIN WALLS PAINTED IN THEIR ENTIRETY WHETHER DESIGNATED IN THE FINISH SCHEDULE OR PAINTED DUE TO PATCH AND REPAIR SHALL ALSO BE PAINTED IN THEIR ENTIRETY.
 - ANTICIPATE PATCH AND REPAIR OF FLOORINGS & BASE AS WELL AS PAINTS AT WALLS FOR UNDER FLOOR DEMOLITION AND/OR INSTALLATIONS REQUIRED FOR MEP SCOPE OF WORK.
 - ANTICIPATE PATCH AND REPAIR OF CEILINGS AS WELL AS PAINTS AT WALLS AND SOFFITS FOR ABOVE CEILING DEMOLITION AND/OR INSTALLATIONS REQUIRED FOR MEP SCOPE OF WORK.

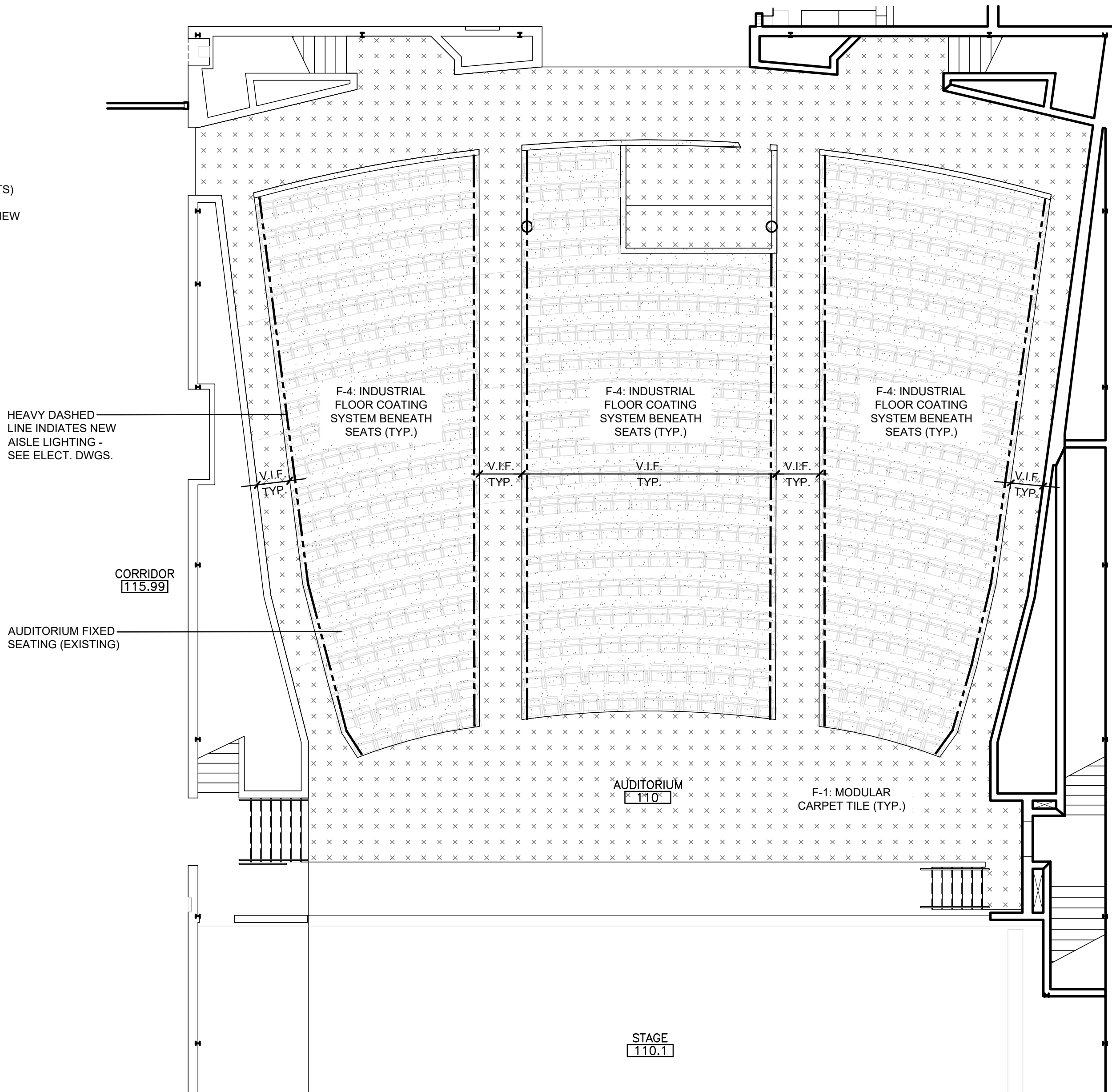
INTERIOR FINISH NOTES:

- REFERENCE PARTIAL FLOOR FINISH PLAN AT AUDITORIUM 110 AT THIS SHEET FOR EXTENTS, LAYOUT & PATTERNING OF FLOOR FINISHES.
- INSTALL MODULAR CARPET TILE (F-1) IN A NON-DIRECTIONAL PATTERN AT ENTIRETY OF AUDITORIUM 110, INCLUDING AT SOUND BOOTH ROOM AT THE BACK OF THE SPACE. TYPICAL U.O.N. INSTALL INDUSTRIAL FLOOR COATING SYSTEM (F-4) UNDERNEATH EXISTING AUDITORIUM FIXED SEATING (ONLY). PROVIDE FOR A FLUSH / LEVEL TRANSITION BETWEEN FLOOR FINISHES. REFERENCE ELEC. DRAWING SHEET HS E-2.6 FOR LOCATIONS, EXTENTS, AND SPECIFICATION FOR AUDITORIUM AISLE LIGHTING.
- INSTALL VINYL COMPOSITE TILE (F-2) AT ALL CLASSROOM SPACES WHERE NEW FLOOR FINISH INFILL IS REQUIRED DUE TO DISTURBANCES AND / OR DAMAGES FROM DEMOLITION, CONSTRUCTION / RENOVATION AND MEP WORK. REFERENCE ARCHITECTURAL AND DEMO DRAWINGS.
- PROVIDE & INSTALL NEW RUBBER WALL BASE (B-1) AT AUDITORIUM 110 AT ALL WALLS WHERE NEW MODULAR CARPET TILE IS SLATED TO BE INSTALLED. TYPICAL U.O.N. DO NOT INSTALL RUBBER WALL BASE AT FRONT FACE OF STAGE OR AT LANDING EDGES OF STEPS.
- PROVIDE & INSTALL NEW RUBBER WALL BASE (B-EX) AT ALL CLASSROOM SPACES WHERE NEW FLOOR FINISH INFILL IS REQUIRED DUE TO DISTURBANCES AND / OR DAMAGES FROM DEMOLITION, CONSTRUCTION, AND RENOVATION WORK. REFERENCE ARCHITECTURAL AND DEMO DRAWINGS. IF EXISTING WALL BASE CANNOT BE MATCHED, PROVIDE AND INSTALL NEW RUBBER WALL BASE (B-1), TERMINATING EXTENTS AT THE NEAREST INSIDE OR OUTSIDE CORNER.
- PATCH & REPAIR FINISH OF EXISTING CORRIDORS AS REQUIRED DUE TO DISTURBANCES AND / OR DAMAGES FROM DEMOLITION, CONSTRUCTION / RENOVATION AND MEP WORK. REFERENCE ARCHITECTURAL AND DEMO DRAWINGS AND NOTE THE FOLLOWING:
 - PATCH & MATCH SHALL BE REQUIRED AT CEILINGS - COORDINATE EXTENTS W/ MEP DRAWINGS.
 - IF SALVAGED CEILING TILES CANNOT BE REINSTALLED DUE TO DAMAGES WHILE STORED DURING CONSTRUCTION, COORDINATE WITH THE OWNER TO OBTAIN CEILING TILE PRODUCT INFORMATION FOR REPLACEMENT IN KIND.
- PAINT EXISTING GYP-PORTION OF CEILINGS BEING EFFECTED BY DEMOLITION, CONSTRUCTION / RENOVATION AND MEP WORK: P-EX (TO MATCH EXISTING CONDITIONS), TYPICAL, U.O.N. REFERENCE ARCHITECTURAL AND DEMO DRAWINGS.
- PAINT EXISTING AUDITORIUM CEILING IN ITS ENTIRETY: P-2 "DOGWOOD WHITE", TYPICAL, INCLUDING CEILING GRILLES AND DIFFUSER COVERS - REFERENCE MECH. DRAWINGS.
- NEW WOOD DOORS (D-1) SHALL BE STAINED TO MATCH EXISTING DOORS - REFER TO DOOR SCHEDULE FOR DESIGNATIONS, DOOR TYPE, SIZES, ETC. SEE FINISH LEGEND & TYPICAL WOOD DOOR FINISH PHOTO AT THIS SHEET FOR STAIN COLOR AND FINISH, TYP.
- HM DOOR FRAMES WITHIN RENOVATION AREA SHALL BE PAINTED IN THEIR ENTIRETY INCLUDING NEW HM FRAMES, EXISTING HM FRAMES RECEIVING NEW DOORS AND EXISTING HM FRAMES OCCURRING AT WALLS RECEIVING NEW FINISHES. REMAINING FRAMES (OCCURRING IN WALLS WITH EXISTING FINISHES TO REMAIN) MAY ALSO BE "EXIST'G TO REMAIN". HOWEVER TOUCH UP OF EXISTING COLOR MAY BE REQUIRED. FRAME COLOR FOR FULLY PAINTED FRAMES SHALL BE AS NOTED AT THE FINISH SCHEDULE. EXISTING TO REMAIN SHALL BE (P-EX) TO MATCH EXISTING.
- NEW HM DOOR FRAMES SHALL BE PAINTED (FR-1) "IRON GATE", BOTH SIDES, TYPICAL U.O.N.
- INSTALL SOLID SURFACE WINDOW SILL (SOL-1) AT ALL LOCATIONS AS INDICATED ON DEMO & ARCHITECTURAL DRAWINGS. ALL EDGES SHALL BE EASED AND POLISHED, TYPICAL. REFERENCE SECTION DETAILS AT DRAWING SHEET A-5.1.

FLOORING LEGEND:

F-1: MODULAR CARPET TILE
STYLE: AE310
COLOR: "GREIGE"
INSTALL: NON-DIRECTIONAL

F-4: INDUSTRIAL FLOOR COATING SYSTEM (BENEATH SEATS)
STYLE: RESUFLO SYSTEM
COLOR: TO BE SELECTED DURING SHOP DRAWING REVIEW



NOTE:
ALL AUDITORIUM SEATING TO BE REMOVED,
RELOCATED/STORED BY GENERAL
CONTRACTOR (GC) PRIOR TO NEW FLOOR
COATING/FINISHES. ANY EXISTING
HOLES/CRACKS TO BE FILLED IN AND FLOOR TO
BE PREPARED TO ACCEPT NEW FLOOR FINISH PER
MANUFACTURER'S REQUIREMENTS. UPON
COMPLETION OF FLOOR FINISHES, AUDITORIUM
SEATING TO BE REINSTALLED BY GENERAL
CONTRACTOR

1
HS-A-7.0

PARTIAL FLOOR FINISH PLAN @ AUDITORIUM 110

SCALE: 1/8"=1'-0"

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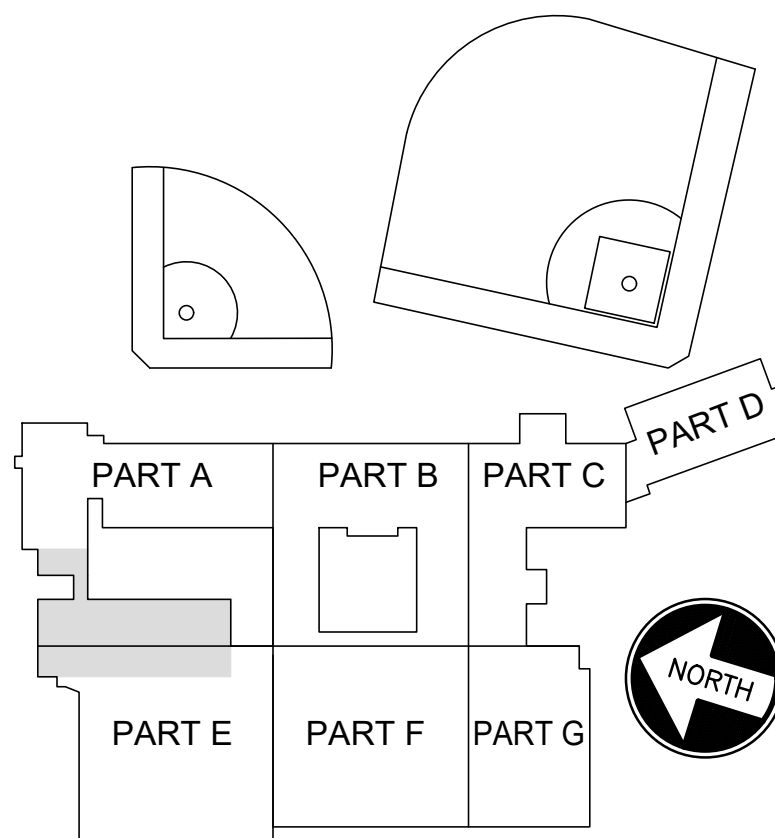
REVISION: NO:

PRE-BID ADDENDUM 002 7/10/26

REVISED NOTE

BID DOCUMENTS

06/22/2026



KEY PLAN

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PROJECT TITLE:

Vestal
Central School District

201 Main Street | Vestal, NY 13850

2024
Capital Project

SENIOR HIGH SCHOOL
NYSED # 03-16-01-06-0-001-024

SEALS:

DRAWING TITLE:

INTERIOR FINISH
LEGEND, SCHEDULE,
NOTES & DETAILS

DRAWN BY: EV CHECKED BY: DM

DATE: 06/22/2026 PROJECT NO: 2025-067

DRAWING NO:

BUILDING

HS

A-7.0

CAD FILE: 000-054-7.0.DWG PLOT DATE: 7/8/2026