

SUNY Broome
Decker Hall-Dental Renovations

Exterior Logistics between 05/19/2027 - 09/15/2027

Gates by GC

Fence by GC

Storage Container

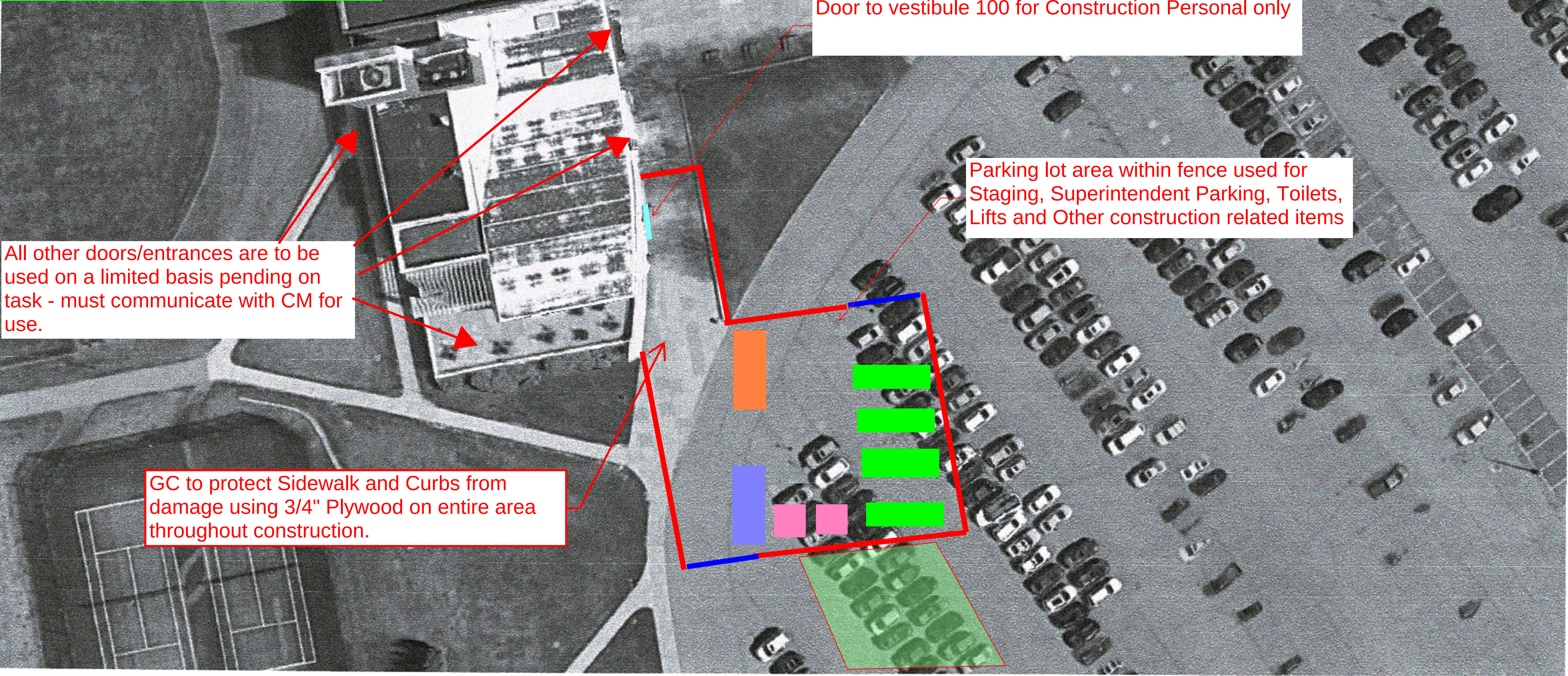
Dumpster by GC

Door for Access

Contractor Parking

Toilets by GC

Office Trailer by GC



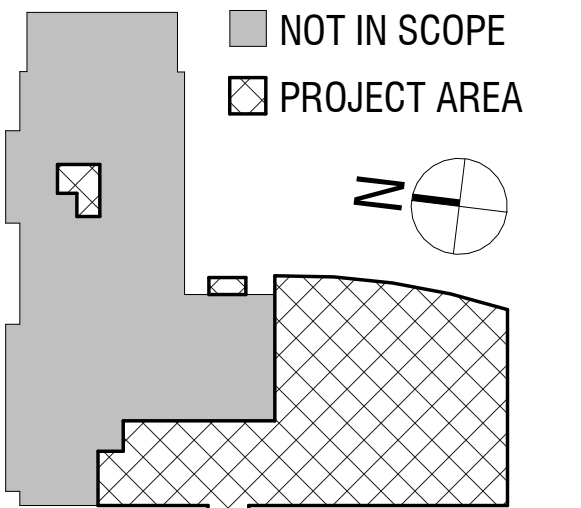
NOT FOR CONSTRUCTION

CERTIFICATE OF AUTHORIZATION NUMBER:
PROFESSIONAL ENGINEERING: 0021272
LAND SURVEYING: 0021271
GEOLOGICAL: 0021659

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SUNY BROOME

SUNY BROOME
907 Upper Front St.
Binghamton, NY 13905



KEY PLAN N.T.S.

**SUNY BROOME DENTAL
HYGIENE CLINIC RENOVATION**

907 Upper Front St., Binghamton, NY 13905

NO.	DATE:	DESCRIPTION:
Revisions		

PROJECT NUMBER: 2224432.01

DRAWN BY: ST / CL

REVIEWED BY: LW

ISSUED FOR: BID REVIEW DOCUMENTS

DATE: 04/07/2026

DRAWING NAME:

**OVERALL 1ST FLOOR
DEMOLITION PLAN**

DRAWING NUMBER:

A011

SUNY Broome Decker Hall-Dental Renovations

First Floor Logistics between 05/24/2027 - 08/16/2027

Work in these areas must be coordinated with the CM for availability and access

DEMO KEYNOTES	
D1	REMOVE METAL STUD AND GYPSUM BOARD WALL AND/OR METAL FURRING TO EXTENT SHOWN. PATCH & REPAIR WALLS, FLOORS, AND CEILINGS TO MATCH ADJACENT SURFACES AND/OR TO RECEIVE SCHEDULED FINISHES WHEN INDICATED.
D1.1	PARTITION TO REMAIN; REMOVE ALL MOUNTED ITEMS/EQUIPMENT, ACCESSORIES (SOAP DISPENSERS, PAPER TOWEL HOLDERS, ETC.), AV EQUIPMENT AND ASSOCIATED COMPONENTS, AND WALL DECOR; TURN OVER TO OWNER. PATCH AND PREP PARTITIONS AFFECTED BY REMOVAL FOR NEW FINISHES; SEE FINISH DRAWINGS FOR ADDITIONAL INFORMATION.
D1.2	PARTITION TO REMAIN; REMOVE FULL HEIGHT WALL TILE & BACKER BOARD TO STUD THROUGHOUT. PREP STUD FOR NEW TILE BACKER; SEE FINISH DRAWINGS FOR ADDITIONAL INFORMATION.
D1.3	PARTITION TO REMAIN; REMOVE 3'-4" HIGH WALL TILE & BACKER BOARD TO STUD THROUGHOUT. PREP STUD FOR NEW TILE BACKER AND PREP WALL FOR NEW FINISHES; SEE FINISH DRAWINGS FOR ADDITIONAL INFORMATION.
D1.4	PARTITION TO REMAIN. REMOVE DRYWALL AT FULL HEIGHT STUD BAY TO ACCOMMODATE NEW PLUMBING LINES. COORDINATE LOCATION WITH PC.
D1.5	PARTITION TO REMAIN. REMOVE ALL WALL MOUNTED EQUIPMENT; TURN OVER TO OWNER FOR STORAGE AND REINSTALL AFTER NEW FINISHES ARE COMPLETE. SEE FINISH DRAWINGS FOR ADDITIONAL INFORMATION.
D2	REMOVE FLOORING, SUBSTRATE & WALL BASE DOWN TO FLOOR SLAB; PREP FLOOR SLAB FOR NEW FINISHES. PATCH/SELF-LEVEL EXISTING FLOORS AS REQUIRED; FILL CRACKS, HOLES, AND DEPRESSIONS WITH LEVELING/PATCHING COMPOUND AND REMOVE BUMPS AND RIDGES TO PRODUCE UNIFORM AND SMOOTH SUBSTRATE THAT TRANSITIONS TO MEET ADJACENT CONDITIONS. SEE NEW WORK AND FINISH DRAWINGS.
D2.1	REMOVE CARPET, CARPET UNDERLAYMENT, ADHESIVE, AND WALL BASE; PREP FOR NEW FINISHES.
D2.2	REMOVE CERAMIC FLOOR TILE, WALL BASE, AND PORTER SETTING BED DOWN TO EXISTING SLAB. PREP FLOOR SLAB FOR NEW FINISHES & PATCH/SELF-LEVEL EXISTING FLOORS AS REQUIRED; FILL CRACKS, HOLES, AND DEPRESSIONS WITH LEVELING/PATCHING COMPOUND, AND REMOVE BUMPS & RIDGES TO PRODUCE A UNIFORM AND SMOOTH SUBSTRATE THAT TRANSITIONS TO MEET ADJACENT CONDITIONS. ASSUMING FLOOR PREP WORK WILL REDUCE UP TO 25% OF THE ROOM AREA. PREP FOR NEW WORK; FLOOR FINISH WILL BE SLOPED TO DRAIN. INSTALL A MINIMUM THICKNESS OF 1/8" OVER THE HIGHEST POINT IN THE FLOOR. FEATHER EDGE TO MATCH EXISTING FLOOR ELEVATION. THICKNESS GREATER THAN 1.5" WILL REQUIRE ADDITION OF AGGREGATE.
D2.3	REMOVE RECESSED ALUMINIUM FLOOR MAT AND FRAME. INFILL AND PATCH/SELF-LEVEL WITH COMPOUND TO PRODUCE UNIFORM AND SMOOTH SUBSTRATE THAT TRANSITIONS TO MEET ADJACENT CONDITIONS. FEATHER EDGE TO MATCH EXISTING FLOOR ELEVATION. INFILL THICKNESS OF GREATER THAN 1.5" WILL REQUIRE ADDITION OF AGGREGATE.
D3	EXISTING DOOR AND FRAME TO REMAIN. MODIFY DOOR, FRAME, AND HARDWARE AS NECESSARY TO RECEIVE NEW SCHEDULED HARDWARE SET.
D3.1	REMOVE EXISTING DOOR, FRAME, & ALL ASSOCIATED HARDWARE. PREP OPENING FOR METAL STUD AND GYPSUM BOARD INFILL. TURN OVER HARDWARE TO OWNER.
D3.2	REMOVE EXISTING DOOR, FRAME, & HARDWARE. TURN OVER HARDWARE TO OWNER.
D3.3	REMOVE EXISTING DOOR & HARDWARE. FRAME TO REMAIN. MODIFY FRAME AS NECESSARY TO RECEIVE NEW SCHEDULED HARDWARE SET.
D3.4	REMOVE EXISTING GATE & HARDWARE. FRAME TO REMAIN. PREP FRAME FOR INSTALLATION OF NEW SCHEDULED DOOR & ASSOCIATED HARDWARE. SEE NEW WORK DRAWINGS.
D4	REMOVE EXISTING WINDOW FRAME, GLASS, COUNTER, AND ASSOCIATED ACCESSORIES. PREPARE FOR INSTALLATION OF SCHEDULED WINDOW.
D4.1	REMOVE ENTIRE DOOR PANEL AND STORE FRONT SYSTEM, INCLUDING BUT NOT LIMITED TO DOOR PANEL, FRAME, HARDWARE, ECT.

D7.4	REMOVE EXISTING OWNER FURNITURE AND STORE FOR REINSTALLATION.
D7.5	WALL MOUNTED X-RAY EQUIPMENT TO BE REMOVED AND DISPOSED OF BY DENTAL EQUIPMENT SUPPLIER. PREP WALL FOR INSTALLATION OF NEW EQUIPMENT.
D8	REMOVE PLUMBING FIXTURE(S), CAP & SEAL SUPPLY & SANITARY LINES AS REQUIRED. AT SINK REMOVAL, PATCH AND PREP WALLS AND FLOORING TO MATCH ADJACENT SURFACES AND/OR TO RECEIVE NEW FINISHES. SEE PLUMBING DRAWINGS FOR MORE INFORMATION.
D8.1	REMOVE WALL HUNG TOILET ACCESSORIES; PATCH AND PREP ALL WALLS AFFECTED BY DEMOLITION TO RECEIVE NEW FINISHES.
D8.2	REMOVE TOILET PARTITIONS & ALL ASSOCIATED COMPONENTS; PATCH ALL WALLS AFFECTED BY REMOVAL AND PREP FOR NEW FINISH.
D8.3	REMOVE EXISTING SINK FAUCETS AND PREPARE FOR INSTALLATION OF NEW SCHEDULED HARDWARE.
D8.4	DRINKING FOUNTAINS TO REMAIN.
D8.5	REMOVE EXISTING FILE CABINETS; TURN OVER TO OWNER.
D8.6	REMOVE ADA APRON PANEL FOR PLUMBING WORK. SAVE FOR RE-INSTALLATION.
D9	SAW CUT AND REMOVE SLAB ON GRADE TO EXTENT NEEDED FOR INSTALLATION OF UNDER SLAB UTILITIES. COORDINATE WITH PC FOR EXACT SAW CUT LOCATIONS.
D10	REMOVE WOOD WINDOW SILLS AT ALL UPPER WINDOWS IN THE MAIN AND MINI CLINICS.
D11	REMOVE AND STORE FOR REINSTALLATION ALL WINDOW VERTICAL BLINDS AND HARDWARE IN THE MAIN AND MINI CLINICS.
D12	REMOVE ALL PLAQUES AND STORE FOR RE-INSTALLATION. LAYOUT OF PLAQUES FOR RE-INSTALLATION WILL BE COORDINATED WITH AN OWNERS REPRESENTATIVE.

	EXISTING WALL - PRESUMED 1 HOUR RATED FIRE BARRIER
	EXISTING WALL - PRESUMED 2 HOUR RATED FIRE BARRIER

- RESPONSIBILITY FOR EXAMINING THE BUILDING AND VERIFYING EXISTING CONDITIONS AND ARE TO CONTACT THE OWNER REPRESENTATIVE REGARDING ANY DISCREPANCIES.
- DEMOLITION WORK SHALL INCLUDE REMOVAL OF ALL ITEMS INDICATED TO BE REMOVED AND/OR SALVAGED, AND LEGAL DISPOSAL OF ITEMS NOT INTENDED FOR SALVAGE. WORK SHALL ALSO INCLUDE REMOVAL OF ALL MINOR SUPPORTS, BRACKETS, FASTENERS, CONDUITS, PIPING, AND SIMILAR ITEMS WHICH ARE NOT INDICATED TO REMAIN.
 - ALL FLOOR AND WALL CONDITIONS WHICH ARE TO RECEIVE NEW CONSTRUCTION ARE TO BE DEMOLISHED AS INDICATED AND PROPERLY PREPARED TO RECEIVE NEW FINISHES, U.N.O.
 - ALL FLOOR, WALL, AND CEILING CONDITIONS THAT ARE DISTURBED BY DEMOLITION ARE TO BE PATCHED, REPAIRED AND/OR PAINTED, WITH SIMILAR MATERIALS AND COLORS. REFER TO NEW WORK FLOOR PLANS, REFLECTED CEILING PLANS, AND FINISH SCHEDULE.
 - AT WALL REMOVAL FOR MECHANICAL PENETRATIONS, OPENING TO BE APPROXIMATELY 6" LARGER THAN DUCT SIZE ON ALL SIDES. COORDINATE WITH MECHANICAL DRAWINGS.
 - FOR ADDITIONAL REMOVAL INFORMATION REFER TO DETAILS.
 - REFER TO G003 FOR ADDITIONAL BASE BID & ALTERNATE INFORMATION. KEYNOTES & NOTATIONS IN AREAS DESIGNATED AS ALTERNATE REFLECT ALTERNATE WORK. BASE BID CONSIST MODIFICATION AS REQUIRED TO SUPPORT MEPFP UPGRADES IN THESE AREAS.
 - INSPECT / REPLACE / REPAIR ANY DAMAGED OR MISSING EXISTING FIRE PROOFING AROUND COLUMNS, BEAMS OR OTHER FIRE RATED CONSTRUCTION WITH THE SAME MATERIALS IF IT CONFIRMS WITH CURRENT UL ASSEMBLIES CONTACT ARCHITECT FOR DIRECTION AND TO DETERMINE IF SUBSTITUTIONS CAN BE MADE.

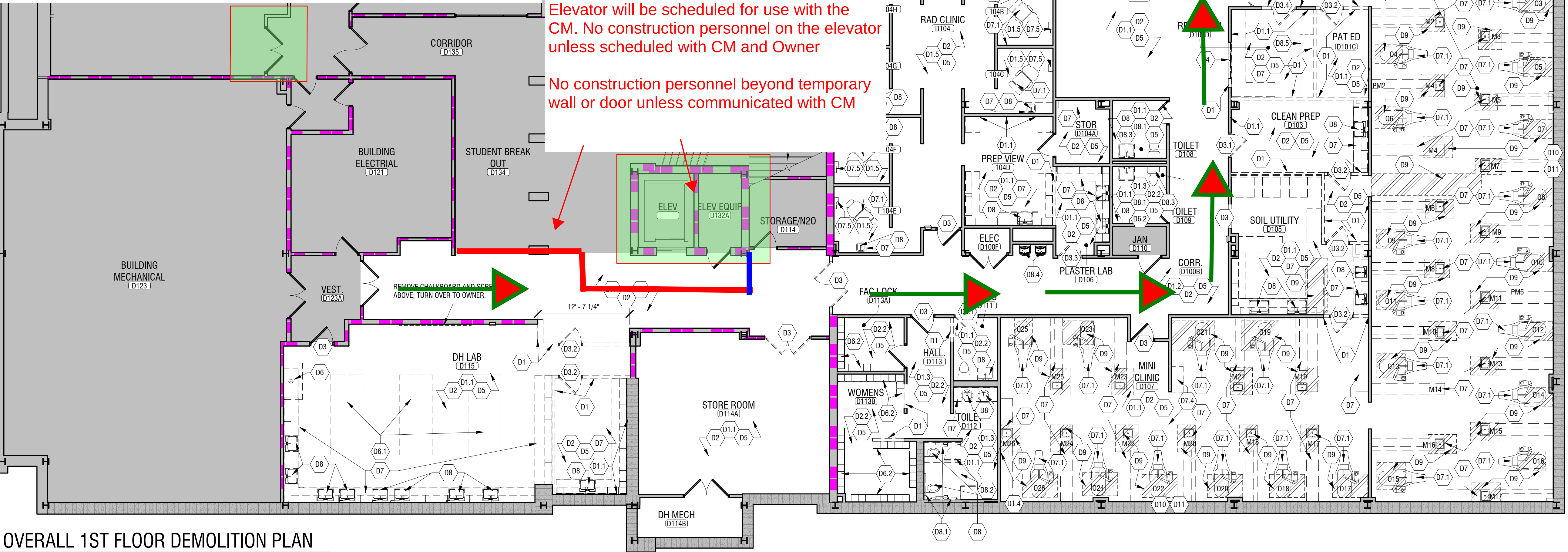
Temporary wall to be built per Multi Contract Summary (GC)

Temporary Door and hardware per specifications - Door to be used for emergency purposes only (GC)

Path for all construction personnel both in and out

Elevator will be scheduled for use with the CM. No construction personnel on the elevator unless scheduled with CM and Owner

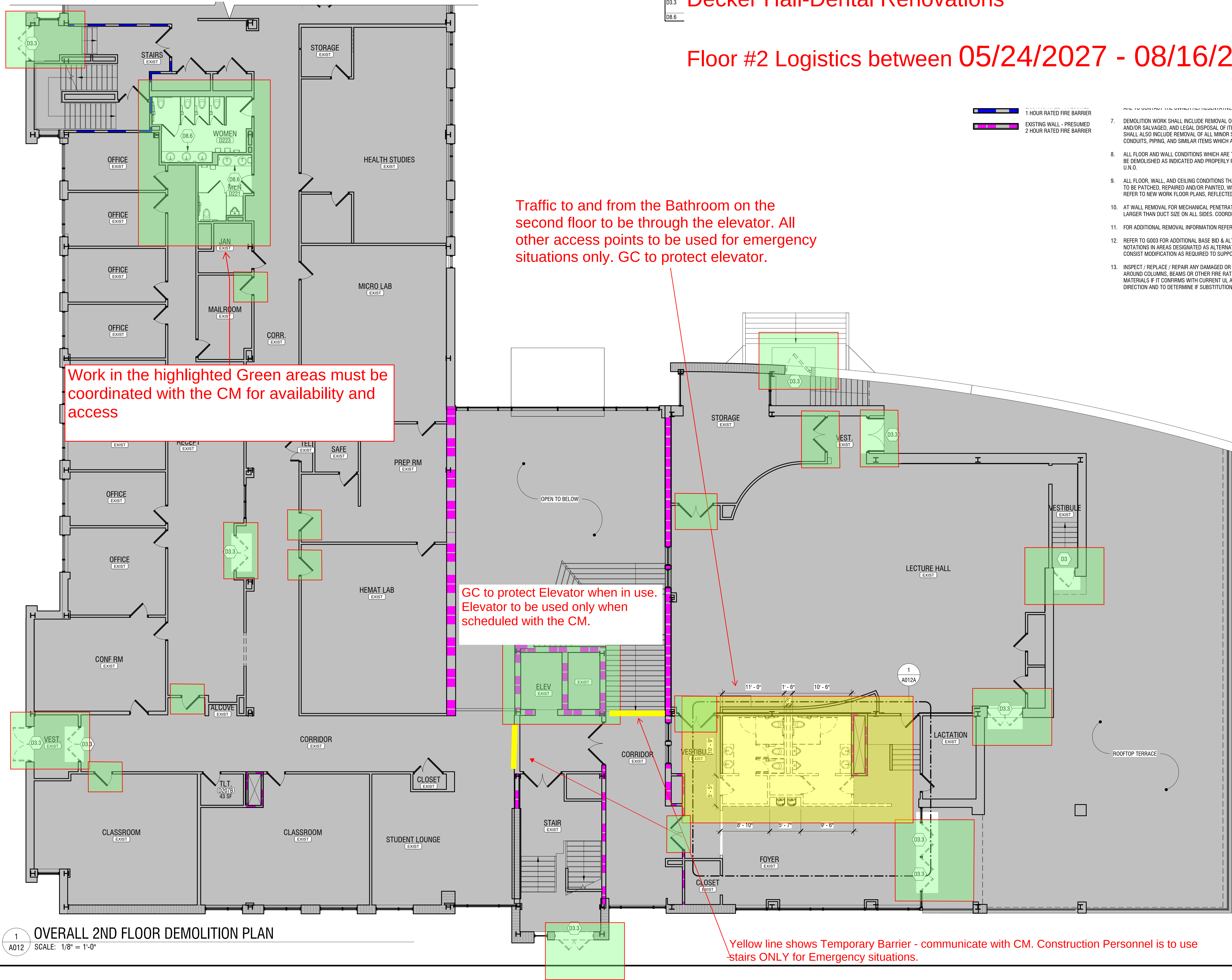
No construction personnel beyond temporary wall or door unless communicated with CM



OVERALL 1ST FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

SUNY Broome
Decker Hall-Dental Renovations

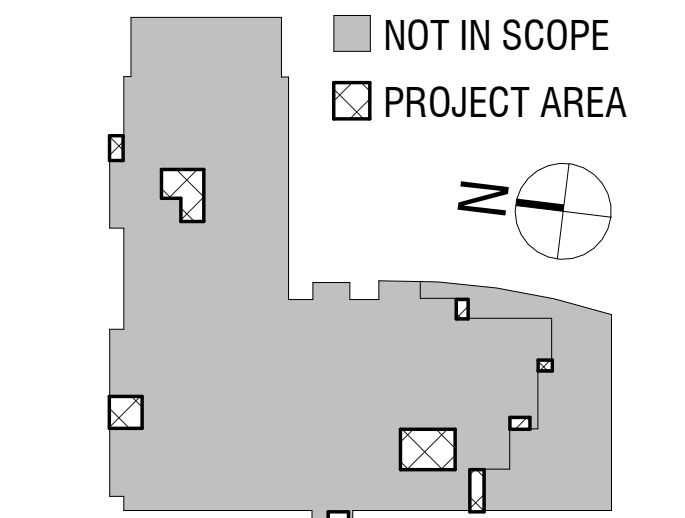
Floor #2 Logistics between 05/24/2027 - 08/16/2027



NOT FOR CONSTRUCTION

CERTIFICATE OF AUTHORIZATION NUMBER:
PROFESSIONAL ENGINEERING: 0021272
LAND SURVEYING: 0021271
GEOLOGICAL: 0021659

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NO.	DATE	DESCRIPTION
Revisions		
PROJECT NUMBER: 2224432.01		
DRAWN BY: ST / CL		
REVIEWED BY: GD / LW		
ISSUED FOR: BID REVIEW DOCUMENTS		
DATE: 04/07/2026		
DRAWING NAME:		

OVERALL 2ND FLOOR
DEMOLITION PLAN

DRAWING NUMBER:

A012

SUNY Broome
Decker Hall-Dental Renovations

Floor #3 Logistics between 05/26/2027 - 08/16/2027

Work must be communicated with CM

GENERAL REMOVAL NOTES:

- DASHED LINES INDICATE ITEMS TO BE REMOVED.
- ELEMENTS TO REMAIN IN PLACE SHALL BE PROTECTED FROM DAMAGE, DUST AND DEBRIS.
- DUST CONTROL SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PERFORM CLEAN UP OF ALL REFUSE, RUBBISH, SCRAP MATERIALS AND DEBRIS CAUSED BY THE WORK ON A DAILY BASIS. CLEANING OF AREA SURROUNDING THE WORK AREA WHERE CONSTRUCTION DEBRIS OR DUST ACCUMULATES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- REFER TO MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTIONS DRAWINGS FOR DEMOLITION OF ADDITIONAL ITEMS.
- CONTRACTOR TO MAINTAIN WATER TIGHT INTEGRITY OF BUILDING AT ALL TIMES.
- EXISTING CONDITIONS ARE TAKEN FROM FIELD OBSERVATIONS AND PRIOR CONSTRUCTION DOCUMENTS WHEN AVAILABLE AND ARE NOT GUARANTEED. CONTRACTORS ARE RESPONSIBLE FOR EXAMINING THE BUILDING AND VERIFYING EXISTING CONDITIONS AND ARE TO CONTACT THE OWNER REPRESENTATIVE REGARDING ANY DISCREPANCIES.
- DEMOLITION WORK SHALL INCLUDE REMOVAL OF ALL ITEMS INDICATED TO BE REMOVED AND/OR SALVAGED, AND LEGAL DISPOSAL OF ITEMS NOT INTENDED FOR SALVAGE. WORK SHALL ALSO INCLUDE REMOVAL OF ALL MINOR SUPPORTS, BRACKETS, FASTENERS, CONDUITS, PIPING, AND SIMILAR ITEMS WHICH ARE NOT INDICATED TO REMAIN.
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- ALL FLOOR, WALL, AND CEILING CONDITIONS THAT ARE DISTURBED BY DEMOLITION ARE TO BE PATCHED, REPAIRED AND/OR PAINTED, WITH SIMILAR MATERIALS AND COLORS. REFER TO NEW WORK FLOOR PLANS, REFLECTED CEILING PLANS, AND FINISH SCHEDULE.
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EXISTING WALL - PRESUMED
1 HOUR RATED FIRE BARRIER
EXISTING WALL - PRESUMED
2 HOUR RATED FIRE BARRIER

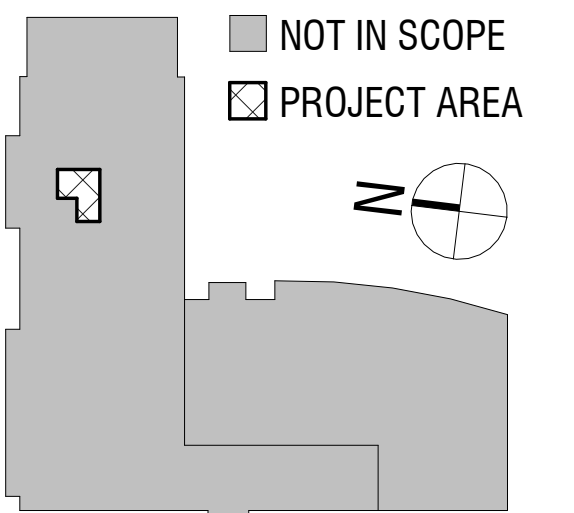
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SUNY BROOME

907 Upper Front St.
Binghamton, NY 13905



KEY PLAN N.T.S.

SUNY BROOME DENTAL
HYGIENE CLINIC RENOVATION

907 Upper Front St., Binghamton, NY 13905

NO.	DATE:	DESCRIPTION:
Revisions		

PROJECT NUMBER: 2224432.01

DRAWN BY: ST/CL

REVIEWED BY: GD/LW

ISSUED FOR: BID REVIEW DOCUMENTS

DATE: 04/07/2026

DRAWING NAME:

OVERALL 3RD FLOOR
DEMOLITION PLAN

DRAWING NUMBER:

A013