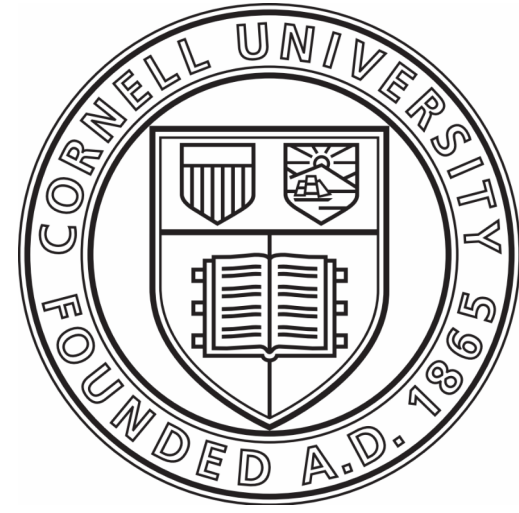




Cornell University

REIS TENNIS CENTER - SQUASH TEAM'S LOCKER ROOMS RENOVATION



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ELECTRICAL, ENVIRONMENTAL,
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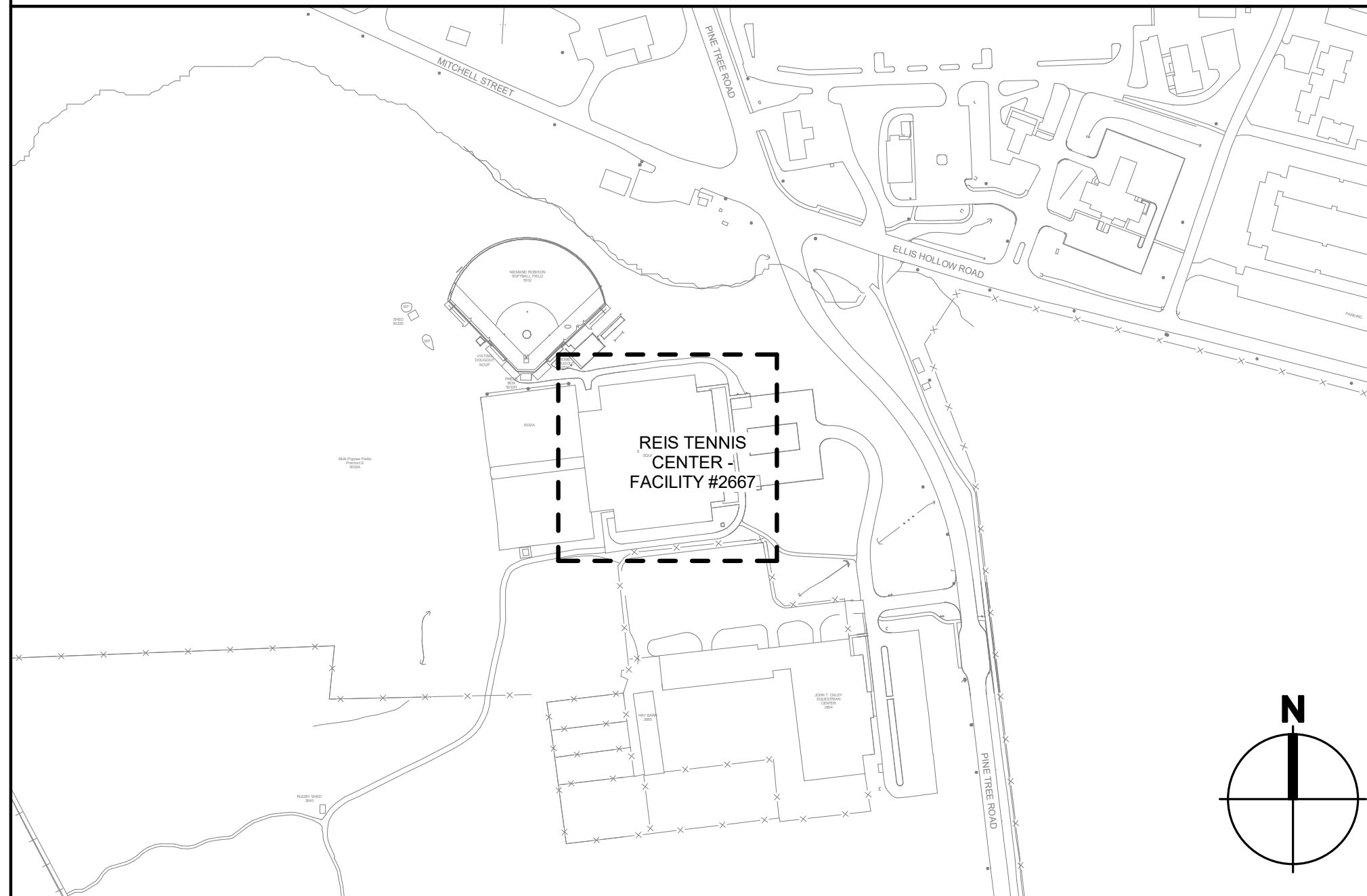
ARCH/ CIVIL:
ELECTRICAL:
MECHANICAL:



REVISIONS

1	05/27/26	ISSUE FOR COORDINATED REVIEW
2	06/08/26	ISSUE FOR CONSTRUCTION

SITE LOCATION - REIS TENNIS CENTER



SITE PHOTO



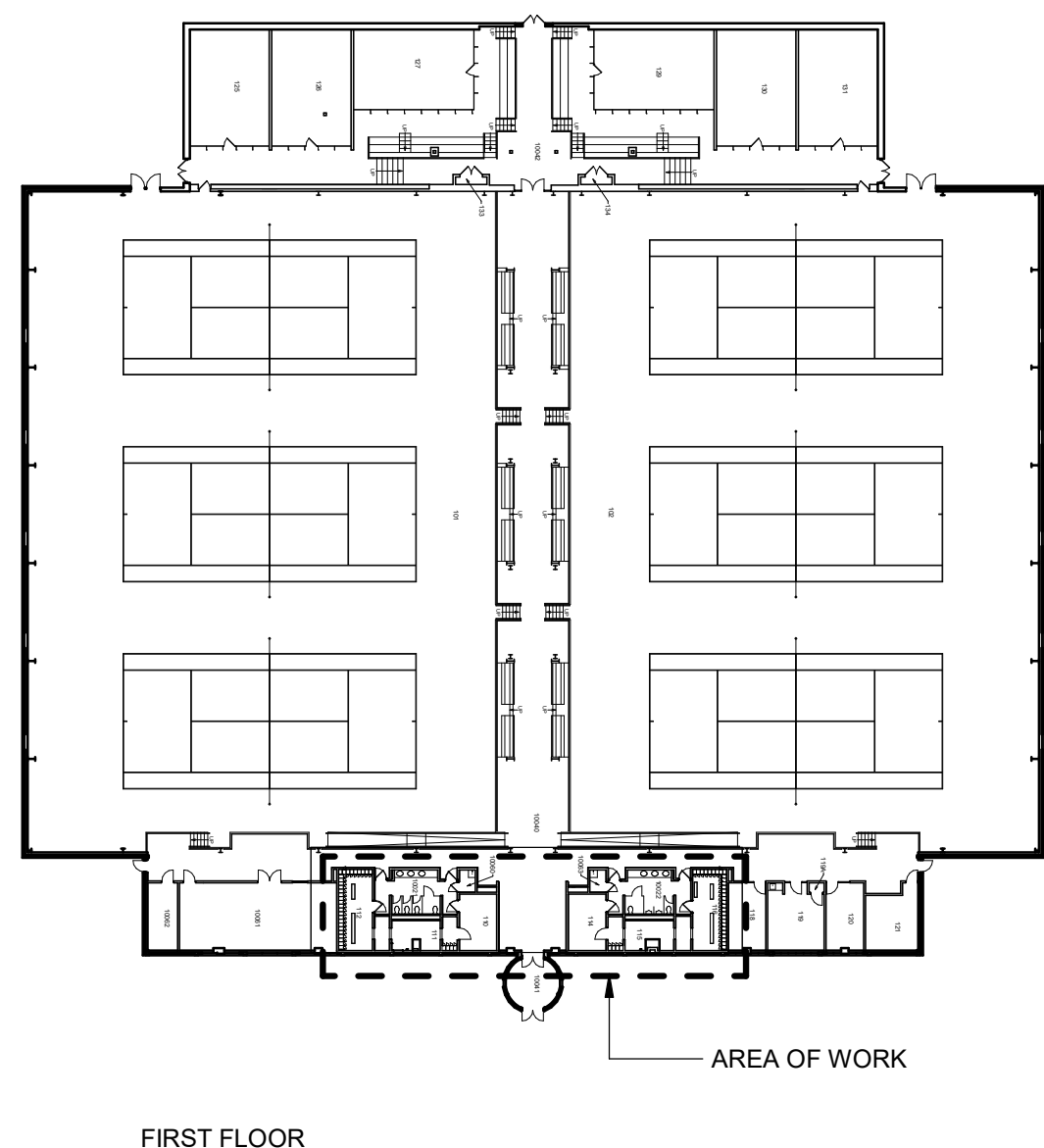
SHEET INDEX

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KEY PLAN - FIRST FLOOR LEVEL



PROJECT SCOPE

THE PURPOSE OF THIS PROJECT IS TO SECURE THE SQUASH TEAM LOCKER ROOMS FROM THE GENERAL PUBLIC, RENOVATION OF THE TEAM LOCKER ROOMS (RENOVATION INCLUDES REPLACEMENT OF LOCKERS, LIGHTING AND PAINTING).

GENERAL SYMBOLS LEGEND

	EXTERIOR ELEVATION		INTERIOR ELEVATION
	PHOTO/ VIEW REFERENCE		
	SECTION MARKER		
	ENLARGED DETAIL		
	CONSTRUCTION KEYED NOTE		
	DEMOLITION KEYED NOTE		
	DRAWING REVISION NOTE		
	LINETYPE: EXISTING TO REMAIN		
	LINETYPE: DEMOLITION / TO BE RELOCATED		
	LINETYPE: TO BE PROVIDED / NEW		

BUILDING CODE SUMMARY

APPLICABLE CODES
2025 NYS BUILDING CODE
2025 NYS EXISTING BUILDING CODE
2025 NYS FIRE CODE
2025 NYS PLUMBING CODE
2025 NYS MECHANICAL CODE
2025 NYS ENERGY CONSERVATION CODE
2017 ICC A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
2010 AMERICANS WITH DISABILITIES ACT (ADA)

PROJECT SUMMARY
THIS PROJECT INCLUDES THE RENOVATION OF (390) SF OF (TEAM LOCKER ROOMS). THE WORK IS ALTERATION LEVEL 2. PER EBCNYS 603.1: LEVEL 2 ALTERATIONS INCLUDE THE ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW, THE RECONFIGURATION OR EXTENSION OF ANY SYSTEM, OR THE INSTALLATION OF ANY ADDITIONAL EQUIPMENT, AND SHALL APPLY WHERE THE WORK AREA IS EQUAL TO OR LESS THAN 50 PERCENT OF THE BUILDING AREA.

BUILDING LIMITATIONS
CONSTRUCTION CLASSIFICATION: 2B
HIGH-RISE BUILDING: NO
EXTINGUISHING REQUIREMENT: THE EXISTING BUILDING IS FULLY SPRINKLERED

OCCUPANCY
OCCUPANCY CLASSIFICATION: ASSEMBLY (A-4)

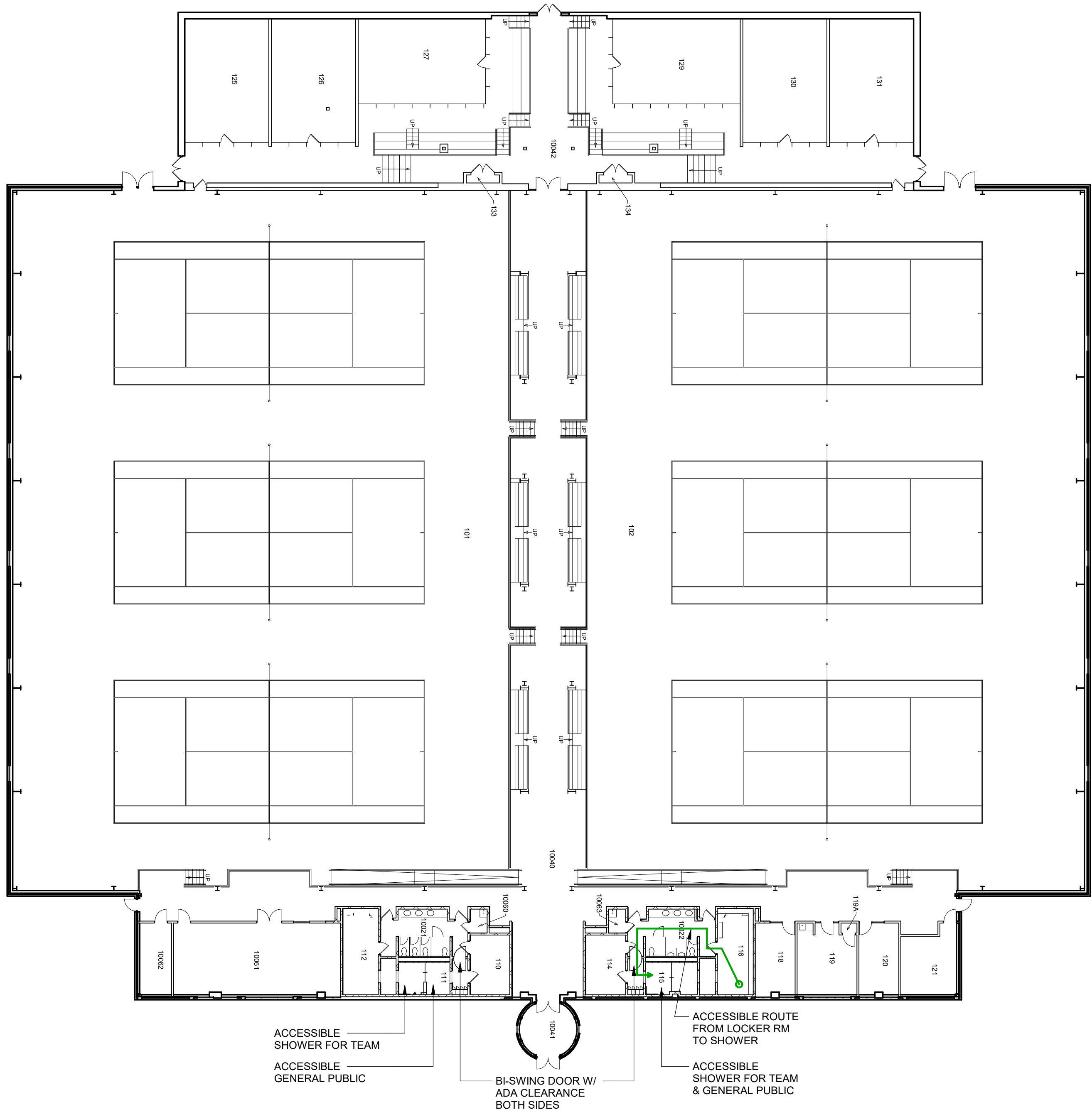
230 PINE TREE RD
TOWN OF ITHACA, NY 14850

REIS TENNIS
CENTER -
SQUASH TEAM'S
LOCKER ROOMS
RENOVATION

DATE:	JUNE 08, 2026
FACILITY:	2667
DESIGN:	FE DESIGN
DRAWN:	RLH

TITLE SHEET

T-001
18259344



1 FIRST FLOOR CODE AND ACCESSIBILITY CONFORMANCE PLAN
SCALE: 1" = 20'-0"

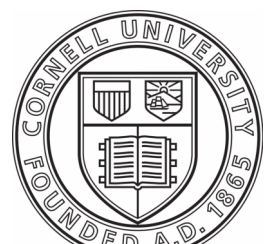
SYMBOLS		ABBREVIATIONS		SCOPE OF WORK	
	DOOR/ WALL - DEMOLITION	A & @ ACT ALUM AVG AFF	AND AT ACOUSTICAL CEILING TILE ALTERNATE ALUMINUM AVERAGE ABOVE FINISH FLOOR	L LAV LB/# LGMF	LAVATORY POUND LIGHT GAGE METAL FRAMING
	DOOR/ WALL - EXISTING	B BD BLDG BOD BSMT	BOARD BUILDING BOTTOM OF DECK BASEMENT	M MFR MAT MAX MEZZ MIN MO MTL	MANUFACTURER MATERIAL MAXIMUM MEZZANINE MINIMUM MASONRY OPENING METAL
	DOOR/ WALL - NEW	C CG CJ CLG CLR CMU COL CONC CONF CONT CORR OPT CRS CT	CORNER GUARDS CONTROL JOINT CEILING CLEAR CONCRETE MASONRY UNIT COLUMN CONCRETE CONFERENCE CONTINUOUS CORRIDOR CARPET COURSE(S) CERAMIC TILE	N NA NIC NR NTS	NOT APPLICABLE NOT IN CONTRACT NOT RATED NOT TO SCALE
	ITEMS FOR DEMOLITION	Q OC OD OFCI OPNG OSB	ON CENTER OUTSIDE DIAMETER OWNER FURNISHED, CONTRACTOR INSTALLED OPENING ORIENTER STRAND BOARD	P +/- PSF PSI PT	PLUS OR MINUS POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PRESSURE TREATED
	TAG - DOOR	D DEMO DF DIA DIM DN DO DWG	DEMOLITION DRINKING FOUNTAIN DIAMETER DIMENSION DOWN DOOR OPENING DRAWING	Q QTY	QUANTITY
	TAG - WINDOW	E EA EJ ELEC ELEV EPDM EQ EXG EXT	EACH EXPANSION JOINT ELECTRIC ELEVATION/ ELEVATOR RUBBER ROOF MEMBRANE EQUAL EXISTING EXTERIOR	R RCP RD REF REQ REV RO RTU	RISER REFLECTED CEILING PLAN ROOF DRAIN REFRIGERATOR REQUIRED REVISION ROUGH OPENING ROOF TOP UNIT
	TAG - WALL	F FD FEC FFE PPRF FRP FT FTG	FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER CABINET FINISH FLOOR ELEVATION FIREPROOF(ING) FIBER REINFORCED POLYESTER FOOT/FEET FOOTING	S SHTG SIM SF SS STL STD	SHEATHING SIMILAR SQUARE FOOT/ FEET STAINLESS STEEL STEEL STANDARD
	TAG - ROOM #	G GA GALV GC GEN GL GWB	GAGE GALVANIZED GENERAL CONTRACTOR GENERAL GLASS GYPSUM WALL BOARD	T T&G TEL TEMP TOP OF STEEL TV TYP	TREAD TONGUE & GROOVE TELEPHONE TEMPERATURE TOP OF STEEL TELEVISION TYPICAL
	CENTER LINE	H HC HT HM HR HVAC	HANDICAPPED HEIGHT HOLLOW METAL HOUR HEATING, VENTILATING & AC	U UEV UEF UNO	UNEVEN DOORS W/ VISION PANEL UNEVEN FLUSH DOOR UNLESS NOTED OTHERWISE
	LEVEL MARKER	J JAN	JANITOR	V VCT VIF	VINYL COMPOSITION TILE VERIFY IN FIELD
	ELEVATION MARKER			W W/O WD	WITHOUT WOOD
	ELEVATION CHANGE ARROWS				
	BREAK LINE				
	1-HOUR FIRE SEPARATION				
	2-HOUR FIRE SEPARATION				
	NOT IN CONTRACT				
	MATCHLINE				

SCOPE OF WORK

- 1.0 REMOVE & REPLACE SQUASH TEAM LOCKER ROOM LOCKERS
- 2.0 CREATE PUBLIC ACCESS TO SHOWERS AND LOCKERS. SEPARATE SHOWER AREAS.
- 3.0 REPLACE LIGHTING IN SHOWERS AND SQUASH LOCKER ROOMS.
- 4.0 CREATE ADA SHOWER STALL FOR WOMEN'S TEAM LOCKER ROOM.

GENERAL NOTES

- 1.0 DESIGN, CONSTRUCTION AND SAFETY SHALL CONFORM TO ALL LOCAL, STATE AND OWNER-SPECIFIC CODES, INCLUDING (BUT NOT LIMITED TO) THE NEW YORK STATE UNIFORM FIRE PROTECTION AND BUILDING CODE, LATEST REVISION, THE NFPA 101 LIFE SAFETY CODE, LATEST REVISION, ANSI A17.1 - LATEST REVISION, OSHA, AND ANY OTHER CODES GOVERNED BY THE JURISDICTION IN WHICH THIS PROJECT IS BEING CONSTRUCTED.
- 2.0 THIS CONTRACT REQUIRES COMPLETE, FINISHED WORKABLE PROJECT OF THE AREAS INDICATED BY THE CONTRACT DOCUMENTS, AND SHALL INCLUDE ALL MATERIALS AND LABOR NECESSARY TO COMPLETE, REGARDLESS OF WHETHER OR NOT ALL WORK OR EACH ITEM IS SPECIFICALLY INDICATED ON ANY OTHER PORTION OF THE DRAWINGS AND/ OR NOTES.
- 3.0 WHERE MATERIALS REFERENCED ON DRAWINGS, OR NECESSARY TO COMPLETE THE WORK OF THIS CONTRACT ARE NOT SPECIFIED HEREIN, PROVIDE BEST QUALITY MATERIALS. WHERE MATERIALS ARE INTENDED TO MATCH EXISTING, PROVIDE CLOSEST POSSIBLE MATCH, SUBJECT TO OWNER'S APPROVAL. ALL ITEMS AND WORK ON DRAWINGS ARE NEW, UNLESS INDICATED AS EXISTING. ALL WORK WHICH HAS BEEN DAMAGED SHALL BE REPAIRED OR REPLACED AT NO COST TO THE OWNER. WHERE ITEMS CAN NOT BE REPAIRED TO A 'NEW CONDITION', OR WHERE THE STRUCTURAL INTEGRITY HAS BEEN AFFECTED, ITEMS SHALL BE REPLACED AT NO COST TO THE OWNER.
- 4.0 CONTRACTOR IS RESPONSIBLE TO VERIFY ALL SITE, FIELD, AND BUILDING CONDITIONS PRIOR TO SUBMITTING BIDS AND COMMENCING WORK. IF THERE ARE ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS, NOTIFY THE PROJECT MANAGER, WHO WILL REQUEST CLARIFICATION FROM THE ARCHITECT/ ENGINEER AND PROVIDE CLARIFICATION IN WRITING.
- 5.0 WHERE EXISTING CONSTRUCTION OR ITEMS HAVE BEEN INFILLED, REMOVED AND/ OR DISTURBED FOR INSTALLATION OF NEW WORK, CAUSING THE EXPOSURE OF UNFINISHED AND/ OR DAMAGED SURFACES, RESULTING SURFACES AND INFILLED SURFACES SHALL BE RECONSTRUCTED WITH MATERIALS TO MATCH FINISHED AREAS. ALL ABANDONED OPENINGS (i.e. DUCT/ PIPE REMOVALS, ETC.) AT WALLS, ROOFS, OR FLOORS TO BE INFILLED SOLID.
- 6.0 WORK IS REQUIRED IN VARIOUS PORTIONS OF THE FACILITY TO EXECUTE WORK OF OTHER TRADES (i.e. ELECTRICAL, MECHANICAL), ALTHOUGH NOT NECESSARILY SHOWN ON DRAWINGS. WORK IS REQUIRED IN THESE AREAS CONSISTING OF REMOVAL/ REPLACEMENT OF CEILINGS, WALLS, FINISHES, PAVEMENT, AND OTHER CONSTRUCTION AS NECESSARY TO PERFORM WORK AND RESTORE THESE SPACES OR AREAS TO ORIGINAL CONDITION.
- 7.0 GENERAL CONTRACTOR IS TO COORDINATE WORK OF ALL TRADES. SCHEDULE WORK PROGRESS THROUGHOUT THE ENTIRE PROJECT TO PREVENT CONFLICTS AND INTERFERENCES. OBTAIN ALL NECESSARY INFORMATION SUCH AS SIZES, LOCATIONS, TEMPLATES, LAYOUTS, DIMENSIONS, AND ALL OTHER INFORMATION NECESSARY FOR A PROPER AND WELL-COORDINATED INSTALLATION. PRIOR TO INSTALLATION OF ITEMS, VERIFY AND CONFIRM WITH EACH CONTRACTOR EXACT LOCATION OF ALL ITEMS.
- 8.0 ALL PENETRATIONS (EXISTING OR NEW) THROUGH FLOORS AND FULL-HEIGHT WALLS IN AREA OF WORK TO BE FIRE STOPPED. ALL GAPS AND JOINTS AT RATED FLOORS, ROOFS, AND WALLS TO BE FIRE AND SMOKE-STOPPED. GAPS AND JOINTS INCLUDE (BUT ARE NOT LIMITED TO) TOP OF WALLS TO FLOORS OR ROOF DECKS, WALLS TO BEAMS, AND CONTROL OR EXPANSION JOINTS. FIRE STOPPING INCLUDES BOTH FORM OR PACKING MATERIAL AND THE FILL, VOID, OR CAVITY MATERIAL. PROVIDE AND INSTALL LABELING REQUIRED BY CODE. LABELS SHALL INCLUDE PENETRATION TYPE WITH UL LISTING USED, MATERIAL USED, DATE OF INSTALL, AND NAME OF INSTALLER.
- 9.0 JOBSITE WILL BE CLEANED DAILY AND DEBRIS REMOVED TO CONTAINERS OR TO VEHICLES WHICH WILL REMOVE DEBRIS FROM CAMPUS. CONTAINERS WILL BE REMOVED AS SOON AS FULL OR WHEN THE PROJECT HAS PROGRESSED TO A POINT THAT A CONTAINER IS NO LONGER REQUIRED.
- 10.0 CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL AREAS USED TO BRING SUPPLIES AND EQUIPMENT INTO THE PROJECT AREA. ANY DAMAGE TO AREAS OUTSIDE THE PROJECT AREA INCLUDING BUT NOT LIMITED TO LOBBIES AND CORRIDORS SHALL BE REPAIRED AT NO COST TO THE OWNER.

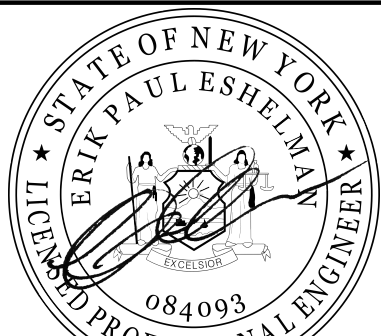


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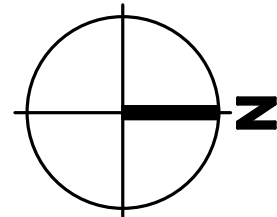
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- 2 06/08/26 ISSUE FOR CONSTRUCTION



0' 10' 20' 40'
SCALE: 1" = 20'-0"

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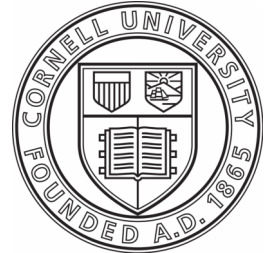
REIS TENNIS CENTER - SQUASH TEAM'S LOCKER ROOMS RENOVATION

DATE: JUNE 08, 2026
FACILITY: 2667
DESIGN: R. HERKO
DRAWN: RLH

GEN. NOTES, SYMBOLGY, & ABBREVIATIONS

A-001
18259344

#	A-101 KEYED DEMOLITION NOTES
1	REMOVE AND SALVAGE EXISTING BENCHES AND STANCHIONS FOR OWNER. STORE AT LOCATION DIRECTED BY OWNER.
2	EXISTING PORTION (42"W X 84"H) C.M.U. WALL TO BE REMOVED FOR NEW H.M. FRAME OPENING.
3	REMOVE (48"W X 8"H) PORTION OF C.M.U. WALL ABOVE NEW OPENING AS REQUIRED TO INSTALL 8"H X 48"LG X 6"TH PRE-CAST CONCRETE LINTEL. BEAR LINTEL ON EXISTING C.M.U. - FILL CORES OF EXISTING C.M.U. UNDER LINTEL. CONTRACTOR TO VERIFY WALL WIDTH AND PROVIDE NEW LINTEL TO MATCH EXISTING WIDTH.
4	EXISTING HDPE LOCKERS TO BE CAREFULLY REMOVED AND SALVAGED FOR OWNER. EIGHT (8) DOUBLE TIER LOCKERS TO BE UTILIZED FOR MODIFICATION AND REINSTALLATION.
5	EXISTING SHOWER CONTROLS TO BE REMOVED AND PREPPED FOR NEW SHOWER CONTROLS AND SHROUD. REFER TO ARCHITECTURAL DRAWING A-102 FOR INFORMATION ON NEW SHOWER CONTROLS.
6	CAREFULLY REMOVE PORTION OF CERAMIC TILE WALL BASE AND FLOOR TILE AS REQUIRED TO INSTALL NEW C.M.U.
7	EXISTING SURFACE MOUNTED LIGHT FIXTURES TO BE REMOVED AND REPLACED WITH NEW FIXTURES. REFER TO ELECTRICAL DRAWINGS.
8	EXISTING CEILING GRID TO REMAIN. REMOVE AND DISPOSE OF EXISTING CEILING TILES. PREP GRID AS REQUIRED TO RECEIVE NEW TILES.



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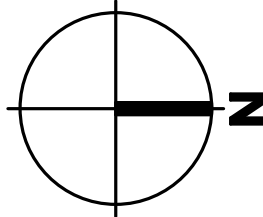
ARCH/ CIVIL: *W*

ELECTRICAL: *LR*

MECHANICAL: _____



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0' 2' 4' 8'

SCALE: 1/4" = 1'-0"

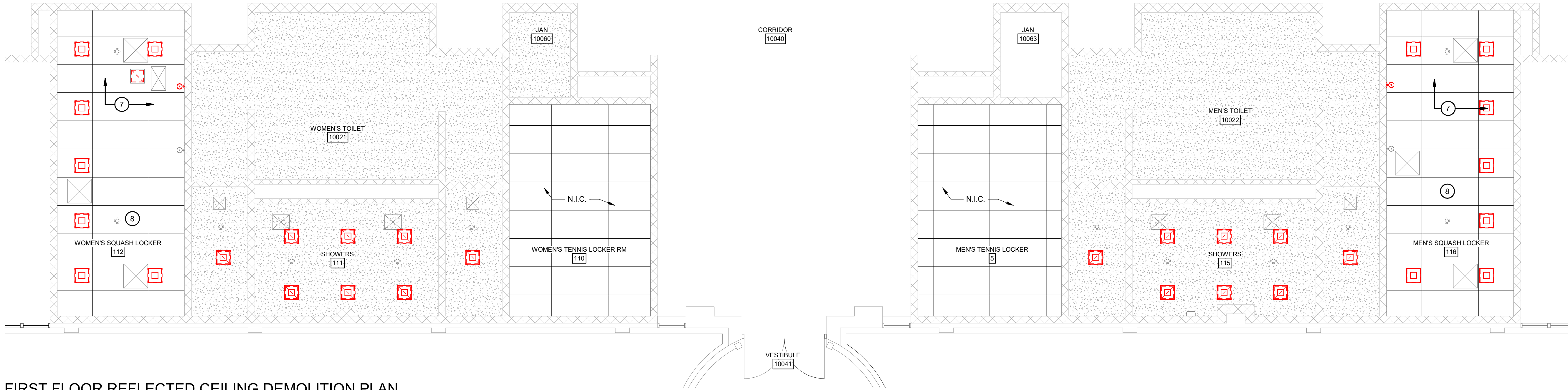
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TOWN OF ITHACA, NY 14850

**REIS TENNIS
CENTER -
SQUASH TEAM'S
LOCKER ROOMS
RENOVATION**

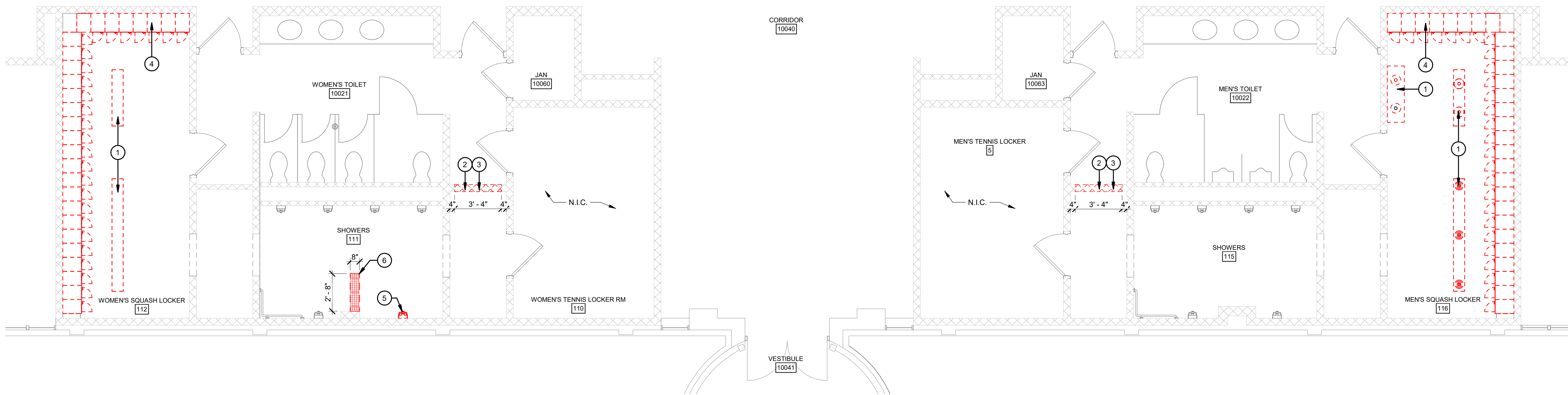
DATE:	JUNE 08, 2026
FACILITY:	2667
DESIGN:	R. HERKO
DRAWN:	RLH

**DEMOLITION
PLANS**

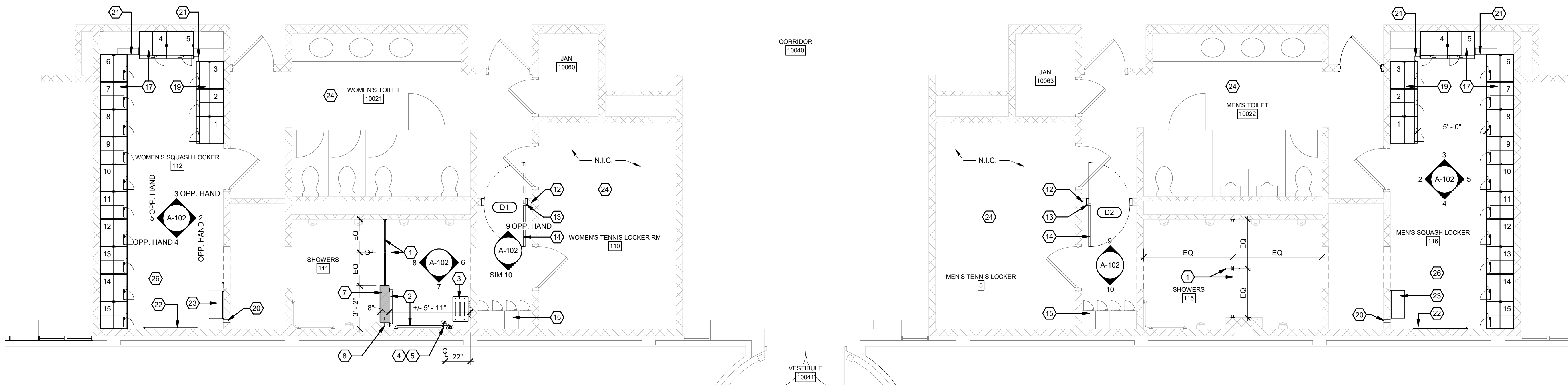
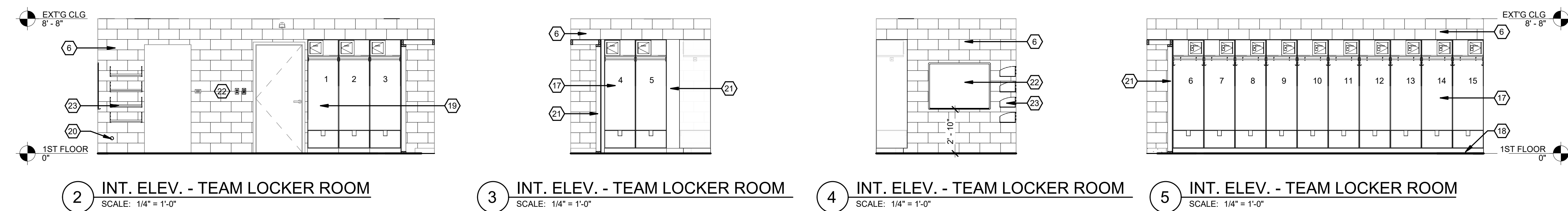
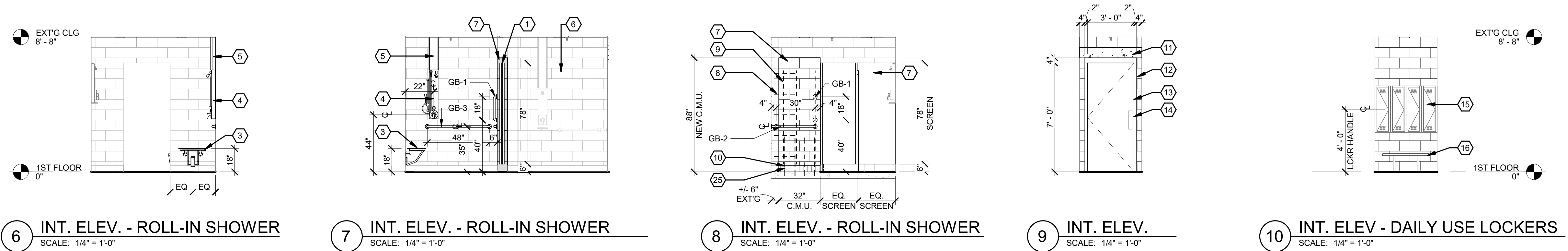
A-101
18259344



2 FIRST FLOOR REFLECTED CEILING DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



1 1ST FLOOR - LOCKER RM DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



- ### A-102 KEYED RENOVATION NOTES
- PROVIDE 1" THICK HDPE PLASTIC FLOOR / WALL SUPPORTED SCREEN PANEL. SET APPROXIMATELY 6" OFF OF FINISHED FLOOR. 78"H HDPE PANEL SUPPORTED ON FLOOR BY (12"W X 82" H) PILASTERS, PILASTER SHOE AND CONTINUOUS DOUBLE EAR ALUMINUM BRACKETS AT WALL AND PILASTER. PRODUCT IS BASED ON "HINY HIDERS" AS MANUFACTURED BY SCRANTON PRODUCTS. COLOR SELECTED BY OWNER.
 - NEW 1-1/2" DIA. GRAB BARS. REFER TO INTERIOR ELEVATIONS AND GRAB BAR SCHEDULE.
 - PROVIDE & INSTALL FOLDING WALL MOUNTED SEAT. MODEL B-1592 AS MANUFACTURED BY BOBRICK. TOP OF SEAT TO BE SET AT 18" ABOVE FINISHED FLOOR IN OPEN POSITION.
 - PROVIDE AND INSTALL SURFACE MOUNTED INDIVIDUAL PIVOTING BARRIER-FREE WALL SHOWER VALVE UNIT. UNIT. BASIS OF DESIGN: BRADLEY CORPORATION "MODEL WS-1X-HN".
A. STANDARDS: ASME A112.18.1/CSA B125.1 AND ASSE 1016.
B. SHOWER HEAD: HAND-HELD SHOWER HEAD ON 60-INCH, 1/2-INCH NPT FLEXIBLE SS HOSE WITH INLINE BACKFLOW PREVENTER, QUICK DISCONNECT, AND BRACKET.
C. DIVERter VALVE: LEVER HANDLE FOR TRANSFER OF WATER BETWEEN FIXED SHOWERHEAD AND HAND HELD SPRAY.
D. HOT AND COLD SUPPLIES WITH THERMOSTATIC MIXING VALVE.
E. FLOW CONTROL: 2.0 GPM.
 - PROVIDE STAINLESS STEEL SHROUD AS REQUIRED TO COVER WATER SUPPLY PIPING.
 - EXISTING C.M.U. WALLS IN WORK AREA ARE TO BE POWERWASHED, PRIMED AND PAINTED WITH EPOXY PAINT. COLOR SELECTED BY OWNER.
 - NEW 8" C.M.U. WALL - 32" LG X 88" H SECURED TO EXISTING SLAB & EXISTING C.M.U. WALLS WITH BARS AS INDICATED (REFER TO REND NOTE #8). C.M.U. TO BE FULLY GROUTED, PRIMED, AND PAINTED (2 COATS MIN.)
 - PROVIDE HORIZONTAL #4 BARS X 16" LG AT 16" O.C. VERTICALLY. SET BAR IN CENTER OF NEW C.M.U. AND EMBED INTO EXISTING C.M.U. WALL 3" MIN. - SET BARS IN EXISTING WALL WITH EPOXY ADHESIVE. FILL CORES SILD AT REINFORCEMENT IF CORES ARE HOLLOW. SPLICE BARS 8" MIN.
 - PROVIDE (3) VERTICAL #4 BARS X 60" LG INTO CORES OF NEW 8" C.M.U. WALL. FILL ALL CORES OF NEW C.M.U. WALL SOLID WITH GROUT. TIE NEW VERTICAL BAR TO NEW BARS EMBEDDED INTO CONCRETE SLAB
 - PROVIDE AT ALL C.M.U. CORES AT BASE OF NEW WALL #4 BARS X 32" LG EMBEDDED 3" MIN. INTO EXISTING 5" CONCRETE SLAB AND SET WITH EPOXY ADHESIVE.
 - PROVIDE NEW 6" TH X 8"H X 48" LG PRE-CAST CONCRETE LINTEL. BEAR NEW LINTEL ON 4" C.M.U. WALL ON EACH SIDE. FILL CORES OF EXISTING C.M.U. BLOCK SOLID WITH GROUT. CONTRACTOR TO VERIFY WALL EXISTING THICKNESS. PROVIDE NEW LINTEL THICKNESS TO MATCH WALL.
 - PACK GROUT INTO OPEN CORES OF EXISTING C.M.U. THAT REMAIN AFTER CUTTING OPEN OF NEW DOORWAY. TYPICAL EACH SIDE OF NEW OPENING.
 - PROVIDE & INSTALL NEW 16 GA. "FLUSH" H.M. DOOR FRAME SET INTO NEW OPENING CUT INTO EXISTING C.M.U. WALL. FRAME TO BE PRIMED AND PAINTED (2 COATS MIN.)
 - PROVIDE & INSTALL NEW 18 GA 1-3/4" X 36"W X 84"H B.I-SWING DOOR. DOOR TO RECEIVE THE FOLLOWING HARDWARE:
A. MCKINNEY 1001 FULL MORTISE DOUBLE ACTING SPRING HINGES 6" X 4-1/2", SATIN CHROME FINISH. (3) HINGES MINIMUM PER DOOR.
B. 4" X 16" S.S. PUSH PLATES EACH SIDE OF DOOR.
 - EXISTING DOUBLE TIER LOCKERS TO BE CUT IN HALF AND MOUNTED TO WALL. PROVIDE PLASTIC HDPE BOTTOM BOARD AS REQUIRED AND SMOOTH OUT EDGES. MOUNT TO WALL SO THAT CENTER OF LOCKER HANDLE IS 48" A.F.F.
 - OWNER TO PROVIDE MOVABLE 36"W X 9.5"DP BENCH THAT CAN STORE UNDER LOCKERS. TYPICAL OF 2.
 - INSTALL OWNER PROVIDED 24"W X 80"H X24"DP STANDARD TEAM WOOD LOCKERS ON TO EXISTING 15" DP X 4" H EXISTING CONCRETE BASE. (TYPICAL FOR LOCKERS #4 THROUGH 15)
 - PROVIDE & CONSTRUCT PRESSURE TREATED WOOD FRAME LOCKER BASE ADJACENT TO FRONT OF EXISTING LOCKER BASE. SECURE WOOD BASE (SUPPLIED BY LOCKER MANUFACTURER) TO MATCH LOCKERS. SECURE NEW BASE TO NEW P.T. WOOD FRAME BASE.
 - INSTALL OWNER PROVIDED TEAM WOOD LOCKERS ON MANUFACTURERS 4" H BASE. (TYPICAL FOR LOCKERS #1 THROUGH 3).
 - PROVIDE 2-1/2" PVC PIPE SLEEVE THROUGH C.M.U. WALL. PATCH, REPAIR C.M.U. AS REQUIRED. SEAL AROUND OPENING. PREP WALL AS REQUIRED TO RECEIVE PAINT.
 - INSTALL WOOD LOCKER FILLER PANELS MOUNTED TO P.T. WOOD FRAMING. PANELS TO BE SUPPLIED BY LOCKER MANUFACTURER AND MATCH WOOD LOCKERS.
 - INSTALL OWNER SUPPLIED DRY ERASE MARKER BOARD.
 - INSTALL OWNER PROVIDED WALL MOUNTED SHELVING STANDARDS AND SHELVES.
 - NO WORK THIS AREA.
 - PROVIDE CERAMIC TILE BASE AT NEW WALL TO MATCH EXISTING.
 - PATCH AND REPAIR C.T. FLOOR TILE WHERE BENCHES WERE REMOVED.

GRAB BAR SCHEDULE	
GB-1	18" LONG VERTICAL STAINLESS STEEL GRAB BAR
GB-2	30" LONG HORIZONTAL STAINLESS STEEL GRAB BAR
GB-3	48" LONG HORIZONTAL STAINLESS STEEL GRAB BAR



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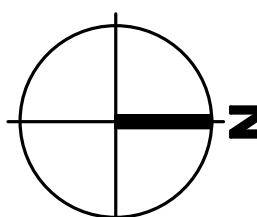
ELECTRICAL: *ATP*

MECHANICAL:



REVISIONS

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2	06/08/26	ISSUE FOR CONSTRUCTION



0' 2' 4' 8'
SCALE: 1/4" = 1'-0"

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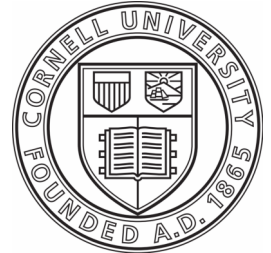
**REIS TENNIS
CENTER -
SQUASH TEAM'S
LOCKER ROOMS
RENOVATION**

DATE: JUNE 08, 2026
FACILITY: 2667
DESIGN: R. HERKO
DRAWN: RLH

**RENOVATION
PLAN, INTERIOR
ELEVATIONS AND
DETAILS**

A-102
18259344

#	A-103 KEYED RENOVATION NOTES
1	EXISTING G.W.B. CEILING TO BE SCRAPPED, PATCH, REPAIRED AS REQUIRED, AND PAINTED, WITH EPOXY PAINT (2 COATS MIN.) (COLOR TO BE SELECTED BY OWNER).
2	PROVIDE AND INSTALL NEW ACOUSTICAL CEILING PANELS INTO EXISTING GRID SYSTEM. CEILING TILES ARE BASED ON ARMSTRONG ULTIMA HEALTH ZONE AIRASSURE SQUARE LAY-IN, ITEM #1959, SIZE: 24"X48"X3/4", 15/16", COLOR: WHITE.
3	NO WORK THIS AREA.



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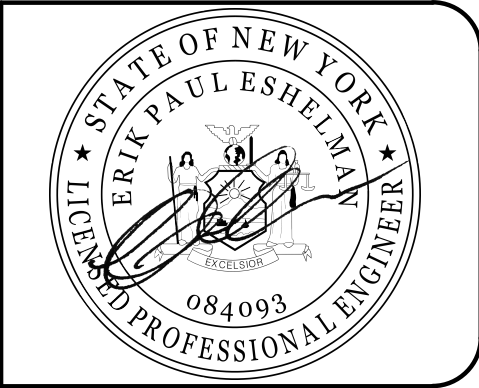
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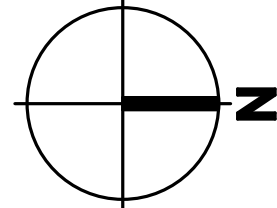
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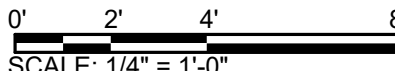
ELECTRICAL: 

MECHANICAL: _____



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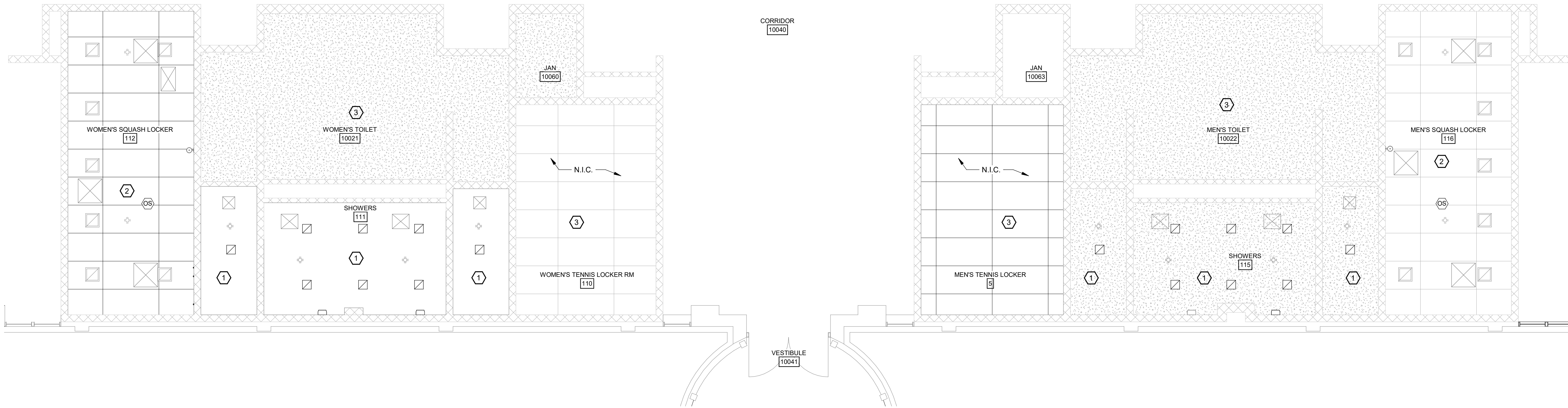




230 PINE TREE RD TOWN OF ITHACA, NY 14850	
REIS TENNIS CENTER - SQUASH TEAM'S LOCKER ROOMS RENOVATION	
DATE:	JUNE 08, 2026
FACILITY:	2667
DESIGN:	R. HERKO
DRAWN:	RLH

**RENOVATION
REFLECTED
CEILING PLAN**

A-103
18259344



1 FIRST FLOOR REFLECTED CEILING RENOVATION PLAN
SCALE: 1/4" = 1'-0"

ELECTRICAL ABBREVIATIONS	
AC	AIR CONDITIONER
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
AFI	ARC FAULT INTERRUPTER
AMM	ADDRESSABLE MONITOR MODULE
AOM	ADDRESSABLE OUTPUT MODULE
ARB	AUXILIARY RELAY BOARD
ATS	AUTOMATIC TRANSFER SWITCH
B	BASEBOARD
BKR	BREAKER
C	CONDUIT
CD	CANDELA
CKT	CIRCUIT
CR	CONTROL RELAY
EC	ELECTRICAL CONTRACTOR
EMT	ELECTRICAL METALLIC TUBING
EPO	EMERGENCY POWER OFF STATION

ELECTRICAL ABBREVIATIONS	
FAA	FIRE ALARM ANNUNCIATOR PANEL
FACP	FIRE ALARM CONTROL PANEL
FSD	FIRE SMOKE DAMPER
GAA	GENERATOR ALARM ANNUNCIATOR
GFI	GROUND FAULT INTERRUPTER
GND	GROUND
HP	HORSEPOWER
KW	KILOWATT
LC	LIGHTING CONTACTOR
LFMC	LIQUID TIGHT FLEXIBLE METALLIC CONDUIT
LTG	LIGHTING
MCB	MAIN CIRCUIT BREAKER
MLO	MAIN LUG ONLY
MTS	MANUAL TRANSFER SWITCH
NAC	NOTIFICATION APPLIANCE CIRCUIT
NIC	NOT IN CONTRACT
OE	OVERHEAD ELECTRIC

ELECTRICAL ABBREVIATIONS	
PC	PHOTOCELL
PM	PLUGMOLD
PP	POWER PANEL
PVC	POLYVINYL CHLORIDE CONDUIT
RGS	RIGID GALVANIZED STEEL CONDUIT
SR	SURFACE RACEWAY
ST	SHUNT TRIP
TM	THERMAL MAGNETIC
TR	TRIM/CASEWORK/WAINSCOTT
TSP	TWISTED SHIELDED PAIR
TYP	TYPICAL
UE	UNDERGROUND ELECTRIC
UON	UNLESS OTHERWISE NOTED
UPS	UNINTERRUPTIBLE POWER SUPPLY
V	VOLTS
VA	VOLT AMPS
WP	WATERPROOF

LIGHTING LEGEND	
	LIGHT POLE WITH LED LUMINAIRES, REFER TO PLANS FOR NUMBER AND CONFIGURATION OF HEADS
	1'x2' LUMINAIRE
	1'x4' LUMINAIRE
	2'x4' LUMINAIRE
	CEILING MOUNTED LUMINAIRE
	EM LIGHTING BATTERY UNIT
	COMBO EXIT SIGN/EM LIGHTING BATTERY UNIT
	SINGLE FACE, WALL MOUNT EXIT SIGN
	DOUBLE FACE, WALL MOUNT EXIT SIGN
	SINGLE FACE, CEILING MOUNT EXIT SIGN
	DOUBLE FACE, CEILING MOUNT EXIT SIGN
	WIRELESS OCCUPANCY SENSOR
	WIRELESS DAYLIGHT SENSOR
	LIGHT SWITCH: 3 = 3-WAY SWITCH 4 = 4-WAY SWITCH D = DIMMER SWITCH O = WALL SWITCH OCCUPANCY SENSOR V = WALL SWITCH VACANCY SENSOR W = WIRELESS SWITCH S = WIRELESS SCENE SWITCH
	EMERGENCY LIGHT FIXTURE

LINETYPES LEGEND	
	EXISTING TO REMAIN
	DEMOLITION / TO BE RELOCATED
	TO BE PROVIDED
	UNDERGROUND ELECTRIC
	UNDERGROUND LIGHTING
	UNDERGROUND TELCO
	OVERHEAD ELECTRIC

ELECTRICAL LEGEND	
	PANELBOARD
	JUNCTION BOX
	DUPLIX RECEPTACLE: B = INSTALLED IN BASEBOARD TR = INSTALLED IN WOOD TRIM/CASEWORK/WAINSCOTT BR = SURFACE RACEWAY WP = WEATHERPROOF AC = AIR CONDITIONER EM = EMERGENCY
	DUPLIX RECEPTACLE WITH GFCI PROTECTION
	DUPLIX RECEPTACLE WITH AFCI PROTECTION
	DOUBLE DUPLIX RECEPTACLE
	QUAD RECEPTACLE
	SPECIAL RECEPTACLE
	MOTOR
	MOTOR STARTER
	HOMERUN TO PANEL P-1A, CIRCUIT #12. FED FROM 20A - 1P BREAKER IS INTENDED UNLESS NOTED OTHERWISE. RUN GREEN WIRE GROUND FOR ALL CIRCUITS. PROVIDE ONE GROUND PER CIRCUIT.
	HARDWIRED EQUIPMENT CONNECTION
	EMERGENCY POWER OFF (EPO)
	GROUND ROD ELECTRODE
	SAFETY SWITCH (NON-FUSED)
	SAFETY SWITCH (FUSED)
	CARD READER

IT/ COMMUNICATIONS LEGEND	
	DATA RECEPTACLE X = NUMBER OF CABLES TO BE PROVIDED
	WIRELESS ACCESS POINT OUTLET- CEILING MTD.
	WIRELESS ACCESS POINT OUTLET- WALL MTD.

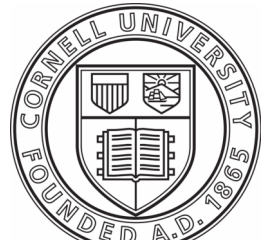
MOUNTING HEIGHTS		
CARD READER	48"	TOP OF BOX
LIGHT SWITCH	48"	TOP OF BOX
RECEPTACLE	18"	TOP OF BOX
DATA OUTLET	18"	TOP OF BOX
TV OUTLET	84"	TOP OF BOX
PHONE OUTLET	48"	TOP OF BOX
SAFETY SWITCH	60"	CENTERLINE OF HANDLE
MOTOR STARTER	60"	CENTERLINE OF HANDLE
PANELBOARD	72"	TOP OF PANELBOARD
MANUAL PULL STATION	48"	OPERABLE HANDLE
NOTIFICATION APPLIANCE	80"	BOTTOM OF LENS
DOOR HOLD OPEN		COORDINATE IN FIELD
EM BATTERY UNIT	96"	BOTTOM OF UNIT
EM REMOTE UNIT	102"	BOTTOM OF UNIT
EXIT SIGN	96"	BOTTOM OF UNIT

FIRE ALARM LEGEND	
	FIRE ALARM CONTROL PANEL
	BATTERY CABINET
	MUXPAD
	REMOTE ANNUNCIATOR
	NAC PANEL
	MANUAL PULL STATION
	SMOKE DETECTOR: D = DUCT SMOKE DETECTOR R = RELAY BASE BR = BEAM RECEIVER BT = BEAM TRANSMITTER SB = SOUNDER BASE
	HEAT DETECTOR: F = FIXED TEMPERATURE R = RATE OF RISE R/F = COMBINATION RISE/FIXED TEMPERATURE
	CARBON MONOXIDE DETECTOR
	WATER FLOW SWITCH
	TAMPER SWITCH
	ADDRESSABLE MODULE
	SUPPRESSION SYSTEM
	COMBO A/V NOTIFICATION APPLIANCE: XXcd = CANDELA C = CEILING
	VISUAL NOTIFICATION APPLIANCE: XXcd = CANDELA C = CEILING
	AUDIBLE NOTIFICATION APPLIANCE
	MAGNETIC DOOR HOLDER

ELECTRICAL SCOPE OF WORK	
1.0	REPLACE THE EXISTING LIGHTING WITH NEW LED LIGHTS.
2.0	RELOCATE THE ELECTRIC OUTLETS AND LIGHT SWITCHES TO ACCOMODATE NEW LOCKER ROOM RENOVATION.
GENERAL ELECTRICAL NOTES	
1.0	ELECTRICAL SCHEMATICS INDICATED ON CONTRACT DOCUMENTS ARE DIAGRAMMATIC. IT IS NOT THE INTENT TO SHOW EXACT OR MOST EFFICIENT ROUTING. VERIFY ALL DIMENSIONS AND FIELD CONDITIONS ON SITE. ANY CONFLICTS BETWEEN CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS SHALL BE BROUGHT TO CORNELL'S PROJECT MANAGER FOR RESOLUTION BEFORE WORK PROCEEDS.
2.0	ASSURE PUBLIC AND WORKER SAFETY AT ALL TIMES. PROTECT ADJOINING AREAS FROM DAMAGE AND DUST. REMOVE ALL DEBRIS FROM SITE AND DISPOSE OF WASTE MATERIAL IN A SAFE MANNER. KEEP THE PREMISES FREE OF DEBRIS FROM THE EXECUTION OF WORK. DELIVER A FINAL PRODUCT THAT IS CLEAN AND OPERABLE.
3.0	FIRE STOP ELECTRICAL PENETRATIONS THROUGH FIRE RATED WALLS AND/OR FLOORS WITH MATERIAL EQUAL IN RATING TO THE CONSTRUCTION OF THE MATERIAL PENETRATED.
4.0	WORK SHALL BE COMPLETED AS SPECIFIED AND INDICATED ON CONTRACT DOCUMENTS. ANY SUGGESTED ALTERNATE MANUFACTURER OR METHOD OF INSTALLATION SHALL BE SUBMITTED TO PROJECT ENGINEER FOR APPROVAL PRIOR TO ORDERING ANY MATERIALS OR COMMENCING EXECUTION OF WORK.
5.0	GROUNDING SHALL BE IN STRICT ACCORDANCE WITH NEC ARTICLE 250. PROVIDE EQUIPMENT GROUND CONDUCTOR WITH EACH BRANCH CIRCUIT INDICATED ON CONTRACT DOCUMENTS. EQUIPMENT GROUND CONDUCTOR SHALL BE ROUTED WITH ASSOCIATED PHASE CONDUCTORS.
6.0	PROVIDE A NEW TYPED PANELBOARD DIRECTORY FOR EACH PANELBOARD. LABEL ALL NEW DEVICE FACEPLATES WITH SOURCE AND CIRCUIT NUMBER. PROVIDE PERMANENT LABEL ON SWITCHING DEVICES INDICATING EQUIPMENT SERVICE AND INVENTORY NUMBERS. COORDINATE EQUIPMENT INVENTORY NUMBERS WITH CORNELL UNIVERSITY'S MECHANICAL SHOP, 607-255-8667.
7.0	CIRCUITS RATED 20-AMP, 120 VOLT SHALL CONTAIN SEPARATE NEUTRAL CONDUCTORS.
8.0	CONDUCTORS SHALL BE A MINIMUM OF 12AWG, STRANDED COPPER, 600VAC, 90 DEGREE C, TYPE THHN/THWN-2 FOR DRY AREAS AND XHHW-2 FOR WET AREAS.
9.0	CONDUITS SHALL BE A MINIMUM OF 3/4 INCHES DIAMETER. CONDUITS SHALL BE ELECTRICAL METALLIC TUBING (EMT) AND SURFACE MOUNTED UNLESS NOTED OTHERWISE.
10.0	AIC RATING OF NEW CIRCUIT BREAKERS SHALL MATCH RATING OF RESPECTIVE PANELBOARD. SIZE AS INDICATED.
11.0	PROVIDE PULL STRING THROUGH NEW CONDUIT AND BOXES. PROVIDE SUPPORT HANGERS FOR CONDUIT AS NEEDED.
12.0	INSTALL RACEWAY SYSTEMS ENSURING PROPER ACCESS TO EQUIPMENT AND DEVICES AND WITH SUFFICIENT SPACE TO PERFORM ROUTINE MAINTENANCE AND REPAIR. RACEWAYS THAT ARE NOT INSTALLED WITH THIS REQUIREMENT IN MIND SHALL BE RELOCATED AT NO EXPENSE TO THE UNIVERSITY UNTIL DEFICIENCIES ARE CORRECTED.
GENERAL ELECTRICAL DEMOLITION NOTES	
1.0	ELECTRICAL EQUIPMENT SHOWN DASHED ON DEMOLITION DRAWINGS, INCLUDING ASSOCIATED ANCHORS, SUPPORTS, STRAPS, BOXES, FITTINGS, AND OTHER APPURTENANCES NOT SHOWN, SHALL BE DISCONNECTED AND REMOVED. REMOVE ASSOCIATED BRANCH CIRCUITRY TO SOURCE, UNLESS NOTED OTHERWISE.
2.0	REUSE EXISTING RACEWAYS AND DEVICE BACKBOXES WHEN INSTALLATION OF NEW SYSTEM COMPONENTS DOES NOT INTERFERE.
3.0	PROVIDE JUNCTION BOXES, RACEWAYS, AND WIRING TO MODIFY/EXTEND EXISTING SYSTEMS AND CIRCUITS FED DOWNSTREAM OF ELECTRICAL EQUIPMENT SHOWN TO BE DEMOLISHED.
4.0	CUT DEMOLISHED CONDUITS INSTALLED THRU WALLS AND FLOORS FLUSH WITH THE SURFACE AND PATCH PENETRATIONS (FIRESTOP IF LOCATED ON A FIRE RATED SURFACE). PATCH AND PAINT SURFACES IN EXPOSED AREAS TO MATCH SURROUNDING MATERIALS, FINISHES, AND COLORS.
5.0	PROVIDE BLANK COVERPLATES ON UNUSED BACKBOXES REMAINING FROM DEMOLITION NOT SPECIFIED TO BE INFILLED.
6.0	EXISTING EQUIPMENT SHOWN TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION.

ELECTRICAL SUBMITTAL REGISTRY																	
SECTION	DESCRIPTION	MATERIAL	SHOP DRAWINGS	COORD. DRAWINGS	AS-BUILT DRAWINGS	PRODUCT DATA	SCHEDULES	WIRING DIAGRAMS	CALCULATIONS	SAMPLES	STANDARDS	QUALIFICATIONS	CERTIFICATIONS	MFR INSTRUCTIONS	INSP. & TEST REPORTS	OPS & MAINT. DATA	WARRANTIES & BONDS
260519	LOW-VOLTAGE ELECTRICAL POWER CONDUCTORS AND CABLES	CONDUCTORS				X											
260533	RACEWAY AND BOXES FOR ELECTRICAL SYSTEMS	CONDUITS, FITTINGS, PULL/JUNCTION BOXES, AND OUTLET BOXES				X											
260923	LIGHTING CONTROL DEVICES	LIGHTING CONTROLS				X											
262726	WIRING DEVICES	RECEPTACLES				X											
265100	INTERIOR LIGHTING	LIGHTING				X											

LUMINAIRE SCHEDULE														
TYPE	DESCRIPTION	MOUNTING	SIZE	FINISH	MANUFACTURER	CATALOG NO.	VOLTAGE	WATTAGE	LAMP	LUMENS	CCT	DRIVER	COUNT	NOTES
A1	DIRECT MOUNT LED BACKLIT PANEL	RECESSED	1x1	WHITE	COOPER LIGHTING	METALUX - 11MMS-L3CS-UNV-HIGH-3500K	UNIV	20	LED	2138	3500K	0-10V CONTINUOUS DIMMING TO 5%	14	DAMP LISTED
B2	SURFACE MOUNT LED DOWNLIGHT	SURFACE	6" X 6"	WHITE	COOPER LIGHTING	HALO - SMD6S07FS5	120V	8.1	LED	790	3500K	INTEGRAL 120V CONSTANT CURRENT DRIVER	16	WET LISTED



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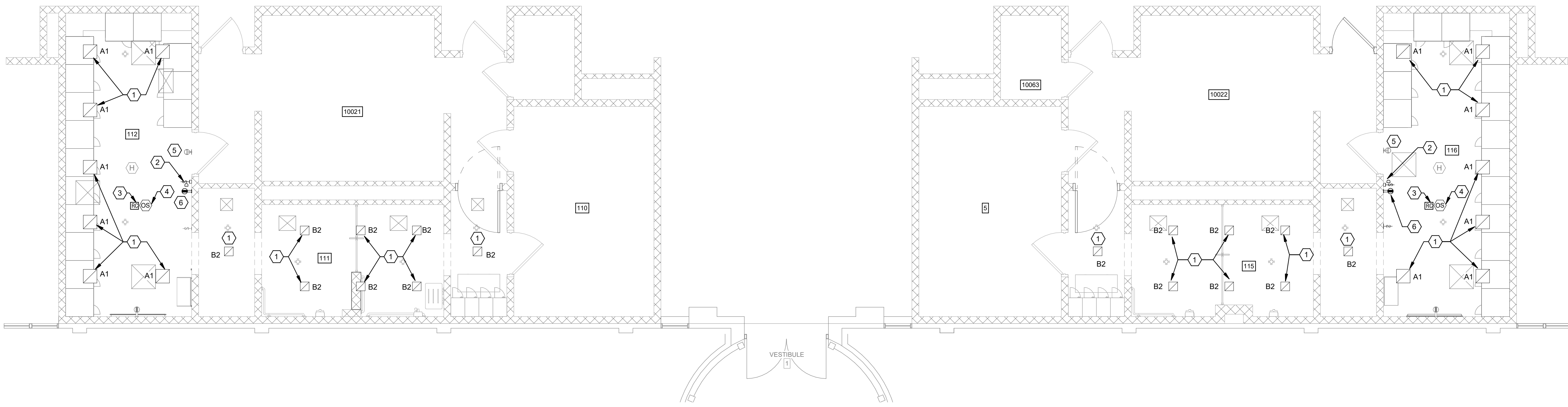
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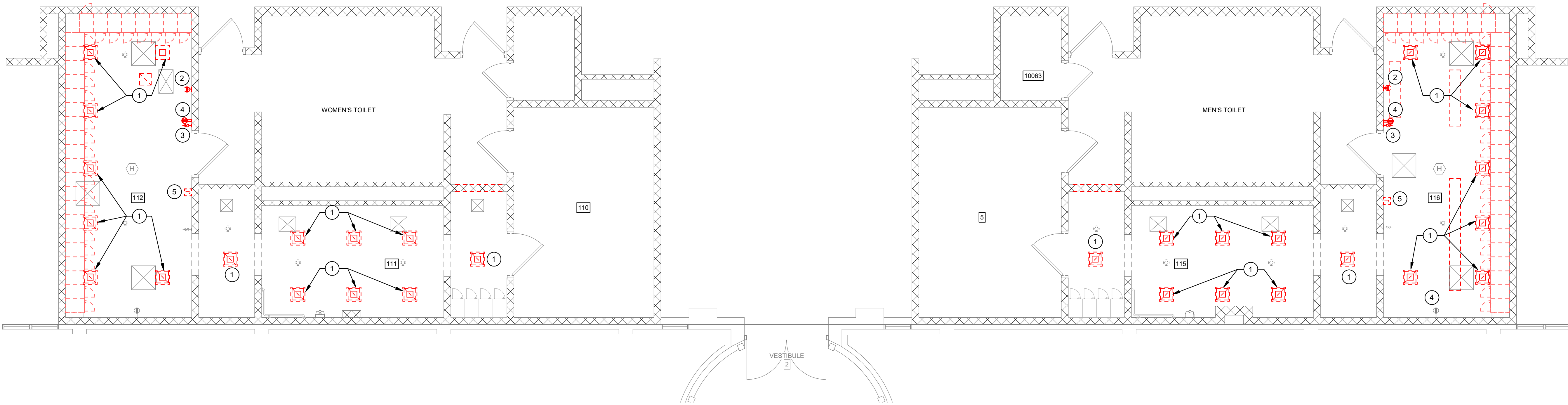
DATE:	JUNE 8, 2026
FACILITY:	2667
DESIGN:	M. SCHOLENO
DRAWN:	MPS

ELECTRICAL GEN. NOTES, SYMBOLOGY, & ABBREVIATIONS

E-001
18259342

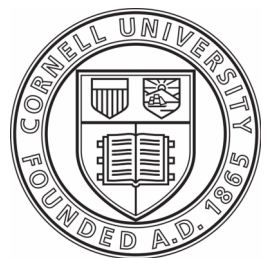


2 FIRST FLOOR LOCKER ROOM ELECTRICAL RENOVATION PLAN
SCALE: 1/4" = 1'-0"



1 FIRST FLOOR LOCKER ROOM ELECTRICAL DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

#	E-101 KEYED DEMOLITION NOTES
1	DISCONNECT AND REMOVE EXISTING LIGHT FIXTURES. TAG EXISTING CIRCUIT FOR REUSE.
2	DISCONNECT AND REMOVE EXISTING WALL-MOUNTED EMERGENCY LIGHT. PROPERLY STORE FOR REUSE. REMOVE ASSOCIATED CIRCUIT BACK TO A POINT BEYOND DEMOLITION AND TAG FOR REUSE.
3	DISCONNECT AND REMOVE EXISTING LIGHT SWITCH. REMOVE ASSOCIATED CIRCUIT BACK TO A POINT BEYOND DEMOLITION AND TAG FOR REUSE.
4	DISCONNECT AND REMOVE DUPLEX RECEPTACLE. REMOVE ASSOCIATED CIRCUIT BACK TO ABOVE THE CEILING AND TAG FOR REUSE.
5	DISCONNECT AND REMOVE EXISTING WALL-MOUNTED HAND/HAIR DRYER. REMOVE ASSOCIATED CIRCUIT BACK TO ITS SOURCE AND INSTALL A BLANK COVER PLATE OVER THE EXISTING BACKBOX.
#	E-101 KEYED RENOVATION NOTES
1	PROVIDE NEW LIGHT FIXTURE AS INDICATED AND RECONNECT TO THE EXISTING CIRCUIT RETAINED DURING DEMOLITION. REFER TO LUMINAIRE SCHEDULE.
2	PROVIDE A NEW LOW VOLTAGE DIMMER SWITCH AT THE LOCATION INDICATED. BASIS OF DESIGN: LEGRAND / WATTSTOPPER LMSW-211-W. PROVIDE CAT5E CABLE FROM THE DIMMER SWITCH TO THE ROOM CONTROLLER. INSTALL CABLING IN SURFACE-MOUNTED RACEWAY UP TO ABOVE CEILING. BASIS OF DESIGN: WATTSTOPPER LMRJ CABLES.
3	PROVIDE A ROOM CONTROLLER FOR THE NEW LIGHTING AND MODIFY/EXTEND THE EXISTING CIRCUIT (IDENTIFIED FOR REUSE) TO SERVE THE NEW LUMINAIRES THROUGH THE ROOM CONTROLLER. INSTALL IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS. BASIS OF DESIGN: LEGRAND / WATTSTOPPER LMRC-111-20M ON/OFF 0-10V DIMMING ROOM CONTROLLER.
4	PROVIDE A PIR OCCUPANCY SENSOR TO CONTROL THE ROOM LIGHTING. CONNECT THE SENSOR TO THE ROOM CONTROLLER USING CAT5E CABLE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS. BASIS OF DESIGN: LEGRAND / WATTSTOPPER LPMC-100.
5	RELOCATE EXISTING WALL-MOUNTED EMERGENCY LIGHT RETAINED DURING DEMOLITION. MODIFY AND EXTEND THE EXISTING CIRCUIT (TAGGED FOR REUSE) TO THE NEW LOCATION USING SURFACE RACEWAY AND RECONNECT.
6	PROVIDE NEW 20A, 120V SPECIFICATION-GRADE GFCI DUPLEX RECEPTACLE. MODIFY AND EXTEND THE EXISTING CIRCUIT (TAGGED FOR REUSE) TO THE NEW LOCATION USING SURFACE RACEWAY AND RECONNECT.



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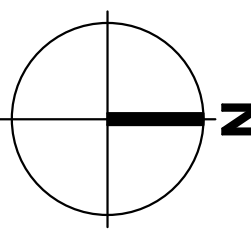
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**ELECTRICAL
DEMOLITION &
RENOVATION
PLANS**

E-101
18259342