

ADDENDUM NO. 1

April 3, 2024

This Addendum contains changes to the requirements of the Contract Documents and Specifications. Such changes are to be incorporated into the Construction Documents and shall apply to the work with the same meaning and force as if they had been included in the original document. Wherever this Addendum modifies a portion of a paragraph of the specifications or a portion of any Drawing, the remainder of the Paragraph or Drawing shall remain in force.

NOTE: Provisions of all Contract Documents apply.

Item 1. INSTRUCTIONS TO BIDDERS, INS-5, Item 14.c.

DELETE “Complete and responsive bids...no later than 3:00 PM on April 16, 2024.”

REPLACE with “Complete and responsive bids...no later than **3:00 PM on April 17, 2024.**”

Item 2. GENERAL REQUIREMENTS, Section 01 23 00, Part 3.1, SCHEDULE OF ALTERNATES

ADD Alternate No. 3 – Provide metal stud partitions “P2”, non-rated, in lieu of Owner-provided furniture partitions.

On the third floor, furnish and install metal stud partitions “P2”, nonrated, in lieu of Owner-provided furniture partitions that are tagged with keyed renovation note #1. Typical height to be 9’-0”, except for all walls in front of windows, which are to be 3’-0” high with finished top. Tape, spackle, prime and paint PT-1. (Partitions around Food Prep 3016, Storage 3017, and Movement 3018 are not part of this alternate, nor part of the project.) Furnish and install painted hollow metal doors (3’-0” by 7’-0”) and painted hollow metal door frames in these P2 partitions, matching the layout shown in drawings A-104 and A-105. Doors to be door type D4 with tempered glazing.

Provide the following hardware set for these doors:

SET 6:

(3) Hinges:	McKinney TA2714 X 4 1/2" X 4 1/2", NRP, US26D
(1) Mortise Lockset:	Sargent 60 x 8205, LNL, US26D
(1) Cylinder	Restricted Cylinder Provided By CU Hardware Center
(1) Wall Bumper	DCI 3211T x US26D
(3) Silencers	DCI 8S
(1) Finger Guard	Finger Guard USA, Finger Keeper Front, Regular, Grey
(1) Finger Guard:	Finger Guard USA, Finger Keeper Rear, Regular, Grey

On the corridor walls of each toddler classroom and preschool classroom, furnish and install two (2) interior windows, sized 1’-6” by 1’-6”, with painted hollow metal frames and tempered glazing. Exact location to be determined in field.

Item 3. **DELETE** Drawing C-101 in its entirety.

Item 4. Drawing A-001- General Notes, Symbology, and Abbreviation

DELETE in its entirety.

REPLACE with drawing revised drawing A-001R, attached.

Item 5. Drawing A-102 – Demolition Plans, Keyed Demolition Notes #6

DELETE Note 6 in its entirety.

REPLACE with

6. REMOVE EXISTING KITCHEN EQUIPMENT. COORDINATE WITH MEP DRAWINGS FOR REMOVALS OF EQUIPMENT. KITCHEN EQUIPMENT TO BE REMOVED INCLUDES THE FOLLOWING ITEMS: ONE (1) VICTORY WARMING CABINET, ONE (1) VICTORY DOUBLE DOOR WARMING CABINET, FOUR (4) SALAD BAR WELLS, ONE (1) HOT BOX, FOUR (4) SOUP WELLS, ONE (1) VICTORY 2-DOOR COOLER, ONE (1) ATLAS REF/FREEZER WELL, TWO (2) VICTORY SINGLE DOOR COOLERS, HOODS. ALL ITEMS CONTAINING REFRIGERANT WILL HAVE HAD THE REFRIGERANT REMOVED BY THE OWNER PRIOR TO START OF DEMOLITION.

Item 6. Drawing A-102 – Demolition Plans, Detail 4 - Penthouse West Elevation, Demolition

DELETE detail 4 in its entirety.

REPLACE with revised Detail Sketch ADD1-A1 - Penthouse West Elevation - Demo, attached.

Item 7. Drawing A-103 – Partial First and Second Floor Plans, A-103 Keyed Renovation Notes #1

DELETE Note #1 in its entirety.

REPLACE with

FURNITURE PARTITION INCLUDING DOORS ARE NOT IN CONTRACT. HOWEVER, CONTRACTOR TO FURNISH AND INSTALL **VINYL ANTI-COLLISION GLASS STICKERS, ETCHED GLASS APPEARANCE, 2-INCH DIAMETER CIRCLES** AT ALL FULL-GLAZED PARTITIONS AND DOORS. APPLY STICKERS AT TWO HEIGHTS OF THE GLASS SURFACE (ONE AT 33 INCHES ON CENTER AFF, AND THE OTHER AT 63 INCHES ON CENTER AFF), PLACED HORIZONTALLY AT 18-INCHES ON CENTER.

Item 8. Drawing A-103 – Partial First and Second Floor Plans, General Renovation Notes #3

DELETE note #3 in its entirety.

REPLACE with:

3. ALL PARTITION WALLS, OFFICE DESKS, CHAIRS, AND CRIBS SHOWN WITH DOTTED LINES ARE FURNISHED AND INSTALLED BY THE OWNER. THE REMAINING DOTTED FURNITURE ITEMS (DIAPER CHANGING STATIONS, WALL SHELVES AT DIAPER STATION, CUBBIES, AND TEACHER’S DESKS) ARE FURNISHED BY THE OWNER AND INSTALLED BY THE GC.

Item 9. Drawing A-103 – Partial First and Second Floor Plans, General Renovation Notes #6

DELETE Note #6 in its entirety.

REPLACE with

6. KEY DOORS WITH CORNELL STANDARD SYSTEM (COORDINATE WITH CU LOCKSHOP). SEE **A-103** FOR DOOR AND DOOR HARDWARE INFORMATION.

Item 10. Drawing A-103 – Partial First and Second Floor Plans, General Renovation Notes

ADD General Renovation Note #9.0:

9. INSTALL THE TOILET ACCESSORIES LISTED BELOW IN EACH TOILET ROOM OF THE PROJECT. TOILET ACCESSORIES THAT WILL BE FURNISHED BY CORNELL AND INSTALLED BY GC ARE MARKED WITH AN *. REFER TO “ADA MOUNTING HEIGHTS FOR ACCESSORIES” STANDARD. EXACT LOCATIONS TO BE DETERMINED IN FIELD.

- | | |
|----------------------------|---------------------------------------------------------------------------------------------------------------------------------------|
| (1) Mirror | Bobrick B-290 1830 |
| (1) Paper Towel Dispenser* | Georgia Pacific 54338a |
| (1) Trash Container* | Slim Jim 3540, 23 Gallon, Gray |
| (1) Hand Soap Dispenser* | Deb Soap - Proline Curved White, with CU logo,
1-liter Unit (SBS 91128), wall mounted.
Furnished by Cornell and installed by GC |
| (1) Toilet Tissue Holder* | Georgia Pacific, Horizontal Double Roll, ADA,
Compact Coreless Tissue Fixture, Plastic, White |

Only at Toilet Rooms 30024, 30027 and 30028:

- | | |
|------------------|----------------------|
| (1) Grab Bar 48” | Bobrick B-6806.99x48 |
| (1) Grab Bar 36” | Bobrick B-6806.99x36 |
| (1) Grab Bar 18” | Bobrick B-6806.99x18 |

Only at Toilet Rooms 30027 and 30028:

- | | |
|-------------------------------------|--------------------------|
| (1) Sanitary Napkin Disposal* | Impact Products 25125200 |
| (2) Coat Hooks | Bobrick B-9542 |
| (1) Full Length Mirror (additional) | Bobrick B-290 2472 |

Item 11. Drawing A-104 – Third Floor Plan - North

ADD Sketch ADD1-A2, attached, as detail 3 to this drawing.

Item 12. Drawing A-104 – Third Floor Plan - North, General Renovation Notes #3

DELETE note #3 in its entirety.

REPLACE with:

3. ALL PARTITION WALLS, OFFICE DESKS, AND CHAIRS SHOWN WITH DOTTED LINES ARE FURNISHED AND INSTALLED BY THE OWNER. THE REMAINING DOTTED FURNITURE ITEMS (DIAPER CHANGING STATIONS, WALL SHELVES AT DIAPER STATION, CUBBIES, AND TEACHER'S DESKS) ARE FURNISHED BY THE OWNER AND INSTALLED BY THE GC.

Item 13. Drawing A-105 – Third Floor Plan - South, General Renovation Notes #3

DELETE note# 3 in its entirety.

REPLACE with

3. ALL PARTITION WALLS, OFFICE DESKS, AND CHAIRS SHOWN WITH DOTTED LINES ARE FURNISHED AND INSTALLED BY THE OWNER. THE REMAINING DOTTED FURNITURE ITEMS (DIAPER CHANGING STATIONS, WALL SHELVES AT DIAPER STATION, CUBBIES, AND TEACHER'S DESKS) ARE FURNISHED BY THE OWNER AND INSTALLED BY THE GC.

Item 14. Drawing A-105 – Third Floor Plan - South, Keyed Renovation Notes #10

DELETE Note #10 in its entirety.

REPLACE with

10. FURNISH AND INSTALL **1-INCH THICK INSULATED PANEL, MAPES-R OR EQUIVALENT, WITH CLEAR-ANODIZED FINISH AND ALUMINUM FRAME** IN LIEU OF OPERABLE WINDOW SASH TO ACCOMODATE TEMPORARY DRYER EXHAUST. SALVAGE WINDOW SASH FOR REINSTALLATION DURING PHASE 3.

Item 15. Drawing A-107 – Phase 3 Demolition Plans, Keyed Demolition Notes #1

DELETE Note 1 in its entirety.

REPLACE with

1. GC TO REMOVE FIXED AND LOOSE FURNITURE ITEMS (CRIBS, DIAPER CHANGING STATIONS, WALL SHELVES AT DIAPER STATION, CUBBIES, TEACHER’S DESKS, OFFICE DESKS, AND CHAIRS) FROM WORK AREA. COORDINATE WITH THE OWNER, WHICH ITEMS TO SALVAGE AND TURN OVER TO OWNER. DISPOSE OF REMAINING ITEMS. FURNITURE PARTITION WALLS WILL BE REMOVED BY OWNER PRIOR TO FLOOR REFINISHING, FLOOR FINISH REPLACEMENT, AND PAINTING.

Item 16. Drawing A-107– Phase 3 Demolition Plans, Keyed Demolition Notes #3

DELETE Note #3 in its entirety.

REPLACE with the following to the end of the note:

3. REMOVE ALL CARPET, RESILIENT FLOORING, BASE, AND MASTIC AND PREPARE FLOOR FOR NEW FINISH. **THE CARPETED AREA IS LOCATED IN THE SPACES ALONG THE EXTERIOR PERIMETER (ABOUT 9,200 SF), WHILE THE RESILIENT FLOORING IS IN THE HALLWAY AND IN THE FORMER FOOD RELATED CIRCULATION AREAS (ABOUT 6,500 SF).**

Item 17. Drawing A-108 – Phase 3 Reconstruction Finish Plans, Finish Legend

DELETE first item “CPT Carpet Tile” in its entirety.

REPLACE with

CPT CARPET TILE
INTERFACE, STREAMING COLLECTION
SOURCE MATERIAL, 106309 NICKEL,
ASHLAR INSTALLATION LAYOUT

DELETE item “LVT Luxury Vinyl Tile” in its entirety.

REPLACE with

LVT LUXURY VINYL TILE
INTERFACE, LEVEL SET COLLECTION
NATURAL WOODGRAINS, A00211 WASHED MAPLE
ASHLAR INSTALLATION LAYOUT

Drawing A-108, Finish Legend (cont'd)

ADD new items:

PT-3 PAINT (HM DOORS)
PRIMER: MPI 134
COAT 1 AND 2: MPI 147,
BENJAMIN MOORE, COLOR: OC-146 LINEN WHITE, SEMI-GLOSS

PT-4 PAINT (HM FRAMES)
PRIMER: MPI 134
COAT 1 AND 2: MPI 147,
BENJAMIN MOORE, COLOR: HC-190 BLACK, SEMI-GLOSS

PT-5 PAINT (TOILET ROOMS)
SELF-PRIMING
COAT 1 AND 2: BENJAMIN MOORE, AURA BATH AND SPA – MATTE,
COLOR: OC-146 LINEN WHITE

- Item 18. Drawing FP-001 – Fire Protection General Notes and Symbol Legends, Fire Protection General Notes #16

DELETE note #16 in its entirety.

REPLACE with

16. HYDRAULIC CALCULATIONS ARE REQUIRED IN ORDER TO OBTAIN A FIRE PROTECTION SYSTEM PERMIT. NO EXISTING SHOP DRAWINGS OR CALCULATIONS ARE AVAILABLE FOR THIS FACILITY. THE CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING THE EXISTING PIPING LAYOUT AND PERFORMING CALCULATIONS. FLEX DROP CALCULATIONS MUST INCORPORATE EQUIVALENT LENGTH FOR (4) BENDS. PIPING PATH SKETCHES WILL BE PROVIDED AFTER BID FOR HYDRAULIC CALCULATION FIELD VERIFICATIONS. FLEX SPRINKLER LENGTHS MUST BE SPECIFIC TO EACH SPRINKLER LOCATION. THE USE OF ONE LENGTH FOR ALL INSTALLATION PROMOTES THE POTENTIAL FOR MULTIPLE TIGHT RADIUS BENDS.

- Item 19. Drawing P-001 – Plumbing General Notes and Symbol Legends, Plumbing Piping Schedule and Specifications, Note #5.

DELETE note #5 in its entirety.

REPLACE with

5. WASTE PIPING 2-1/2" OR LESS SHALL BE SLOPED 1/4" PER FOOT IN THE DIRECTION OF FLOW. WASTE PIPING 3" TO 6" SHALL BE SLOPED 1/8" PER FOOT.

- Item 20. Drawing P-001– Plumbing General Notes and Symbol Legends, Plumbing Piping Schedule and Specifications

ADD note #14 as follows:

14. PIPE SUPPORT INTERVALS SHALL BE IN ACCORDANCE WITH TABLE 308.5 OF THE NYS PLUMBING CODE:
PEX, 1" AND SMALLER: MAXIMUM HORIZONTAL SPACING IS 32 INCHES, MAXIMUM VERTICAL SPACING IS 10 FT.
PVC, ALL SIZES: MAXIMUM HORIZONTAL SPACING IS 4 FT, MAXIMUM VERTICAL SPACING IS 10 FT.

- Item 21. Drawing P-101 – Plumbing First and Second Floor Renovation Plans

DELETE in its entirety.

REPLACE with revised drawing P-101R, attached.

- Item 22. Drawing P-102 – Plumbing Third Floor Demolition Plan

DELETE in its entirety.

REPLACE with revised drawing P-102R, attached.

- Item 23. Drawing P-104 – Plumbing Reconstruction Plans

DELETE in its entirety.

REPLACE with revised drawing P-104R, attached.

- Item 24. **ADD** Drawing P-501- Plumbing Details, attached.

- Item 25. Drawing M-103 – Mechanical Roof Demolition and Reno

DELETE in its entirety.

REPLACE with revised drawing M-103R, attached.

- Item 26. Drawing M-102 – Mechanical Renovation Plans, M-102 3rd FL Renovation Keyed Notes

ADD note 6:

6. FIELD COORDINATE ROUTING OF TOILET EXHAUST DUCT AFTER CEILING DEMOLITION HAS OCCURRED. THERE ARE EXISTING DUCTWORK AND UTILITIES IN THIS VICINITY THAT ARE NOT SHOWN ON PLAN.

Item 27. Drawing M-301 – Building Automation Controls, AHU-1 Sequence of Operations

DELETE “Time of Day Schedule: 7:00 AM to 2:00 AM, MON-SUN.”

REPLACE with “Time of Day Schedule: 7:00 AM to **7:00 PM, MON-FRI.**”

Item 28. Drawing M-301 – Building Automation Controls, AHU-1 Sequence of Operations

ADD new paragraph:

THE CARBON DIOXIDE LEVELS WITHIN THE SPACE SHALL BE MONITORED. IF SPACE CO2 LEVELS REACH A LEVEL ABOVE 900 PPM (ADJ.) THE OUTSIDE AIR DAMPER SHALL MODULATE OPEN UNTIL CO2 LEVEL DROPS BELOW 500 PPM. IF SPACE CO2 LEVELS ARE BELOW 900 PPM (ADJ.), THE OUTSIDE DAMPER SHALL BE MODULATED CLOSED. AN ALARM SHALL BE GENERATED IF CARBON DIOXIDE REACH A LEVEL 10% ABOVE 900 PPM (ADJ.).

Item 29. Drawing M-301 – Building Automation Controls, AHU-3 Sequence of Operations

DELETE “Time of Day Schedule... 4:00 PM TO 10:00 PM, MON-SAT & 10 AM TO 10 PM SUN. Air Handling...”

REPLACE with “Time of Day Schedule... **7:00 AM to 7:00 PM, MON-FRI.** Air Handling...”

Item 30. Drawing M-301 – Building Automation Controls, “Airflow Schedule AHU-3” table

DELETE table in its entirety.

REPLACE with revised Airflow Schedule AHU-3, shown in ADD1-M1, attached.

Item 31. Drawing E-001 – General Notes and Symbol Legends, IT/ COMMUNICATIONS LEGEND

ADD the following to the Legend:

IT/ COMMUNICATIONS NOTES:

1. CONTRACTOR SHALL PROVIDE A WARRANTY AND CERTIFIED TEST RESULTS REPORT FOR ALL INSTALLED LOW VOLTAGE CABLING.
2. ALL WIRELESS ACCESS POINTS SHALL BE CONNECTED VIA TWO CAT 6A CABLES. ALL OTHER DATA CONNECTIONS AND CAMERAS SHALL BE CAT 6.
3. ALL IP DEVICES SHALL BE TURNED OVER TO CIT OR CU ACCESS CONTROL MINIMUM 2 WEEKS PRIOR TO INSTALLATION FOR PROGRAMMING.

Item 32. Drawing E-101 – 2nd Floor Power and Lighting Plans

DELETE in its entirety.

REPLACE with revised drawing E-101R, attached.

Item 33. Drawing E-102 – 3rd Floor Demolition Power Plan

DELETE in its entirety.

REPLACE with revised drawing E-102R, attached.

Item 34. Drawing E-103 – 3rd Floor Power Plan

DELETE its entirety.

REPLACE with revised drawing E-103R, attached.

Item 35. Drawing E-106 – Roof Electrical Plan

ADD the following note to 1/E-106:

EXISTING FAN PF-12-2 TO BE REMOVED. REMOVE WIRING, DISCONNECT AND LABEL CIRCUIT FEEDING FAN AS "SPARE".

Item 36. **ADD** Cornell Standard “ADA Mounting Heights for Accessories”, attached for reference.

Item 37. Pre-bid Sign-in Sheet is attached for Contractors’ reference only.

Item 38. RFI Questions and Clarifications - See attached RFI Log (Items 1 – 10).

Attachments: Drawings: A-001R

P-101R

P-102R

P-104R

P-501

M-103R

E-101R

E-102R

E-103R

Sketches: ADD1-A1

ADD1-A2

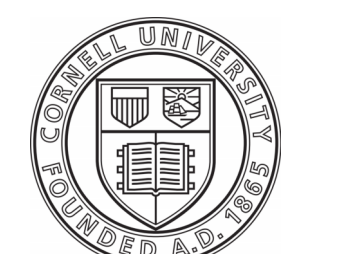
ADD1-M1

ADA Mounting Heights for Accessories Standard

Pre-bid Sign-in Sheet

RFI Log (Items 1 – 10)

*****END OF ADDENDUM 1*****

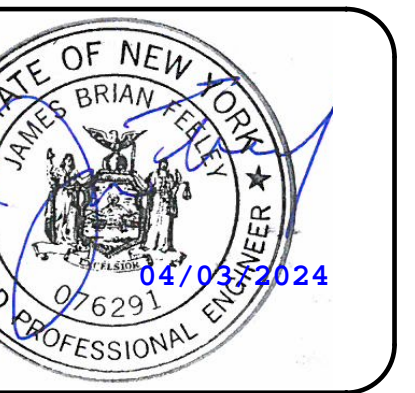


FACILITIES ENGINEERING

ARCHITECTURAL, STRUCTURAL, CIVIL, ENVIRONMENTAL, MECHANICAL, AND ELECTRICAL ENGINEERING

201 HUMPHREYS SERVICE BLDG
ITHACA, NEW YORK 14853-3701

ARCH/CIVIL: *WJ*
ELECTRICAL: *ZTR*
MECHANICAL: *JG*



REVISIONS	
1	01/16/2024 ISSUE FOR DD REVIEW
2	02/16/2024 ISSUE FOR 75% REVIEW
3	02/29/2024 ISSUE FOR CONSTRUCTION
4	04/01/2024 ISSUE FOR ADDENDUM #1

107 JESSUP ROAD
ITHACA, NEW YORK 14850

CHILD CARE CENTER SWING SPACE AT RPCC

DATE: APRIL 1, 2024
FACILITY: 2116/3212
DESIGN: JGC/NH
DRAWN: JGC/NH

GENERAL NOTES, SYMBOLOGY, AND ABBREVIATIONS

ARCHIVE BAR CODE

A-001R

15808624

GENERAL NOTES

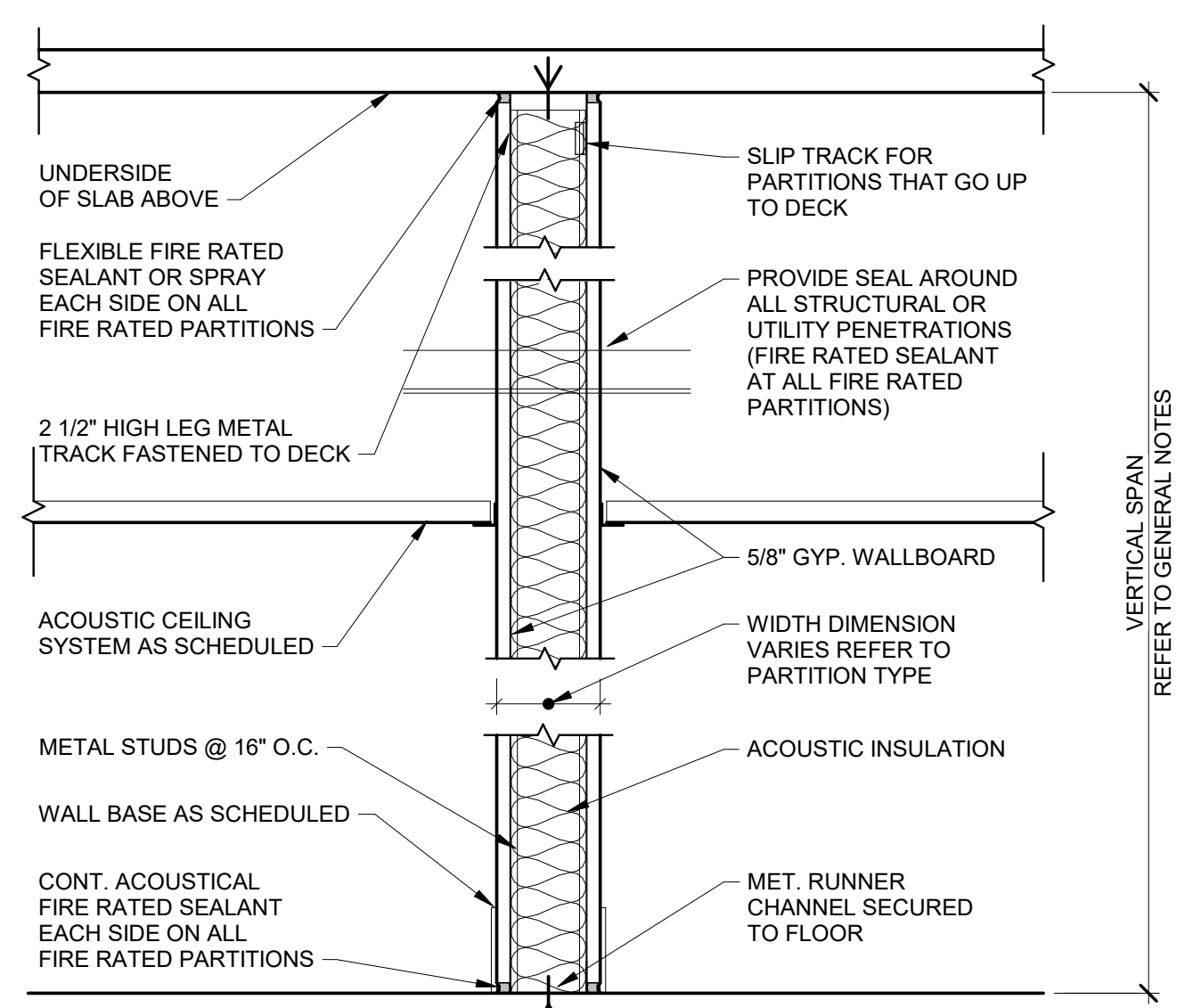
- DESIGN, CONSTRUCTION AND SAFETY SHALL CONFORM TO ALL LOCAL, STATE AND OWNER SPECIFIC CODES, INCLUDING (BUT NOT LIMITED TO) THE NEW YORK STATE UNIFORM FIRE PROTECTION CODE, LATEST REVISION, THE NFPA 101 LIFE SAFETY CODE, LATEST REVISION, ANSI A117.1 - LATEST REVISION, OSHA, AND ANY OTHER CODES GOVERNED BY THE JURISDICTION IN WHICH THIS PROJECT IS BEING CONSTRUCTED.
- THIS CONTRACT REQUIRES COMPLETE, FINISHED WORKABLE PROJECT OF THE AREAS INDICATED BY THE CONTRACT DOCUMENTS, AND SHALL INCLUDE ALL MATERIALS AND LABOR NECESSARY TO COMPLETE, REGARDLESS OF WHETHER OR NOT ALL WORK OR EACH ITEM IS SPECIFICALLY INDICATED ON ANY OTHER PORTION OF THE DRAWINGS AND/OR NOTES.
- WHERE MATERIALS REFERENCED ON DRAWINGS, OR NECESSARY TO COMPLETE THE WORK OF THIS CONTRACT ARE NOT SPECIFIED HEREIN, PROVIDE BEST QUALITY MATERIALS. WHERE MATERIALS ARE INTENDED TO MATCH EXISTING, PROVIDE CLOSEST POSSIBLE MATCH, SUBJECT TO OWNER'S APPROVAL. ALL ITEMS AND WORK ON DRAWINGS ARE NEW, UNLESS INDICATED EXISTING. ALL WORK WHICH HAS BEEN DAMAGED SHALL BE REPAIRED OR REPLACED AT NO COST TO THE OWNER. WHERE ITEMS CAN NOT BE REPAIRED TO A "NEW CONDITION", OR WHERE THE STRUCTURAL INTEGRITY HAS BEEN AFFECTED, ITEMS SHALL BE REPLACED AT NO COST TO THE OWNER.
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL SITE, FIELD AND BUILDING CONDITIONS PRIOR TO SUBMITTING BIDS AND COMMENCING WORK. IF THERE ARE ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS, NOTIFY THE PROJECT MANAGER, WHO WILL REQUEST CLARIFICATION FROM THE ARCHITECT/ENGINEER AND PROVIDE CLARIFICATION IN WRITING.
- WHERE EXISTING CONSTRUCTION OR ITEMS HAVE BEEN INFILLED, REMOVED AND/OR DISTURBED FOR INSTALLATION OF NEW WORK, CAUSING THE EXPOSURE OF UNFINISHED AND/OR DAMAGED SURFACES RESULTING SURFACES AND INFILLED SURFACES SHALL BE RECONSTRUCTED WITH MATERIALS TO MATCH FINISHED AREAS. ALL ABANDONED OPENINGS (i.e. DUCT/PIPE REMOVALS, ETC.) AT WALLS, ROOF OR FLOOR TO BE INFILLED SOLID.
- WORK IS REQUIRED IN VARIOUS PORTIONS OF THE FACILITY TO EXECUTE WORK OF OTHER TRADES (i.e. ELECTRICAL, MECHANICAL), ALTHOUGH NOT NECESSARILY SHOWN ON DRAWINGS. WORK IS REQUIRED IN THESE AREAS CONSISTING OF REMOVAL / REPLACEMENT OF CEILINGS, WALLS, FINISHES, PAVEMENT AND OTHER CONSTRUCTION AS NECESSARY TO PERFORM WORK AND RESTORE THESE SPACES OR AREAS TO ORIGINAL CONDITION.
- GENERAL CONTRACTOR IS TO COORDINATE WORK OF ALL TRADES. SCHEDULE WORK PROGRESS THROUGHOUT THE ENTIRE PROJECT TO PREVENT CONFLICTS AND INTERFERENCES. OBTAIN ALL NECESSARY INFORMATION SUCH AS SIZES, LOCATIONS, TEMPLATES, LAYOUT, DIMENSIONS AND ALL OTHER INFORMATION NECESSARY FOR A PROPER AND WELL COORDINATED INSTALLATION. PRIOR TO INSTALLATION OF ITEMS, VERIFY AND CONFIRM WITH EACH CONTRACTOR EXACT LOCATION OF ALL ITEMS.
- ALL PENETRATIONS (EXISTING OR NEW) THROUGH FLOORS AND FULL HEIGHT WALLS - IN AREA OF WORK TO BE FIRE STOPPED. ALL GAPS AND JOINTS AT RATED FLOORS, ROOFS AND WALLS TO BE FIRE & SMOKE STOPPED. GAPS AND JOINTS INCLUDE (BUT ARE NOT LIMITED TO) TOP OF WALL TO FLOOR OR ROOF DECK, WALL TO BEAMS, AND CONTROL OR EXPANSION JOINTS. FIRE STOPPING INCLUDES BOTH FORM OR PACKING MATERIAL AND THE FILL, VOID OR CAVITY MATERIAL. PROVIDE AND INSTALL LABELING REQUIRED BY CODE. LABELS SHALL INCLUDE PENETRATION TYPE WITH UL LISTING USED, MATERIAL USED, DATE INSTALL AND NAME OF INSTALLER.
- JOBSITE WILL BE CLEANED DAILY AND DEBRIS REMOVED TO CONTAINERS OR TO VEHICLE WHICH WILL REMOVE DEBRIS FROM CAMPUS. CONTAINERS WILL BE REMOVED AS SOON AS FULL OR WHEN THE PROJECT HAS PROGRESSED TO A POINT THAT A CONTAINER IS NO LONGER REQUIRED.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL AREAS USED TO BRING SUPPLIES AND EQUIPMENT INTO THE PROJECT AREA. ANY DAMAGE TO AREAS OUTSIDE THE PROJECT AREA INCLUDING BUT NOT LIMITED TO THE LOBBY AND CORRIDOR SHALL BE REPAIRED AT NO COST TO THE OWNER.

ABBREVIATIONS

A &	AND	LAV	LAVATORY
@	AT	LB/#	POUND
ACT	ACOUSTICAL CEILING TILE	LGMF	LIGHT GAGE METAL FRAMING
ALUM	ALUMINUM	M	MANUFACTURER
AVG	AVERAGE	MAT	MATERIAL
AFF	ABOVE FINISH FLOOR	MAX	MAXIMUM
B	BOARD	MEZZ	MEZZANINE
BD	BUILDING	MIN	MINIMUM
BOD	BOTTOM OF DECK	MO	MASONRY OPENING
BSMT	BASEMENT	MTL	METAL
C	CORNER GUARDS	NA	NOT APPLICABLE
CG	CORNER JOINT	NIC	NOT IN CONTRACT
CJ	CONTROL JOINT	NR	NOT RATED
CLG	CEILING	NTS	NOT TO SCALE
CL	CENTER LINE	O	ON CENTER
CLR	CLEAR	OD	OUTSIDE DIAMETER
CMU	CONCRETE MASONRY UNIT	OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
COL	COLUMN	OPNG	OPENING
CONC	CONCRETE	OSB	ORIENTER STRAND BOARD
CONF	CONFERENCE	P	PLUS OR MINUS
CONT	CONTINUOUS	PSF	POUNDS PER SQUARE FOOT
CORR	CORRIDOR	PSI	POUNDS PER SQUARE INCH
CPT	CARPET	PT	PRESSURE TREATED
CRS	COURSE(S)	R	RISER
CT	CERAMIC TILE	RC	REFLECTED CEILING PLAN
D	DEMOLITION	RDP	ROOF DRAIN
DEMO	DEMOLITION	REF	REFRIGERATOR
DF	DRINKING FOUNTAIN	REQ	REQUIRED
DIA	DIAMETER	REV	REVISION
DIM	DIMENSION	RO	ROUGH OPENING
DN	DOWN	RTU	ROOF TOP UNIT
DO	DOOR OPENING	S	SHEDDING
DWG	DRAWING	SHTG	SIMILAR
E	EACH	SIM	SIMILAR SQUARE FOOT/ FEET
EJ	EXPANSION JOINT	SF	STAINLESS STEEL
ELEC	ELECTRIC	SSL	STEEL
ELEV	ELEVATION/ ELEVATOR	STL	STANDARD
EPDM	RUBBER ROOF MEMBRANE	STD	STANDARD
EQ	EQUAL	T	TREAD
EXG	EXISTING	T&G	TONGUE & GROOVE
EXT	EXTERIOR	TEL	TELEPHONE
F	FLOOR DRAIN	TEMP	TEMPERATURE
FD	FLOOR DRAIN	TOS	TOP OF STEEL
FDN	FOUNDATION	TV	TELEVISION
FEC	FIRE EXTINGUISHER CABINET	TYP	TYPICAL
FFE	FINISH FLOOR ELEVATION	U	UNEVEN DOORS W/ VISION PANEL
FRPF	FIBER REINFORCED POLYESTER	UEF	UNEVEN FLUSH DOOR
FRP	FOOTPRINT	UNO	UNLESS NOTED OTHERWISE
FT	FOOTING	V	VCT
FTG	FOOTING	VCT	VINYL COMPOSITION TILE
G	GAGE	VIF	VERIFY IN FIELD
GA	GALVANIZED	W	WITHOUT
GALV	GENERAL CONTRACTOR	WD	WOOD
GC	GENERAL		
GEN	GLASS		
GL	GYP		
GWB	GYP		
H	HANDICAPPED		
HC	HEIGHT		
HT	HOLLOW METAL		
HM	HOUR		
HR	HEATING, VENTILATING & AC		
J	JANITOR		

SYMBOLS

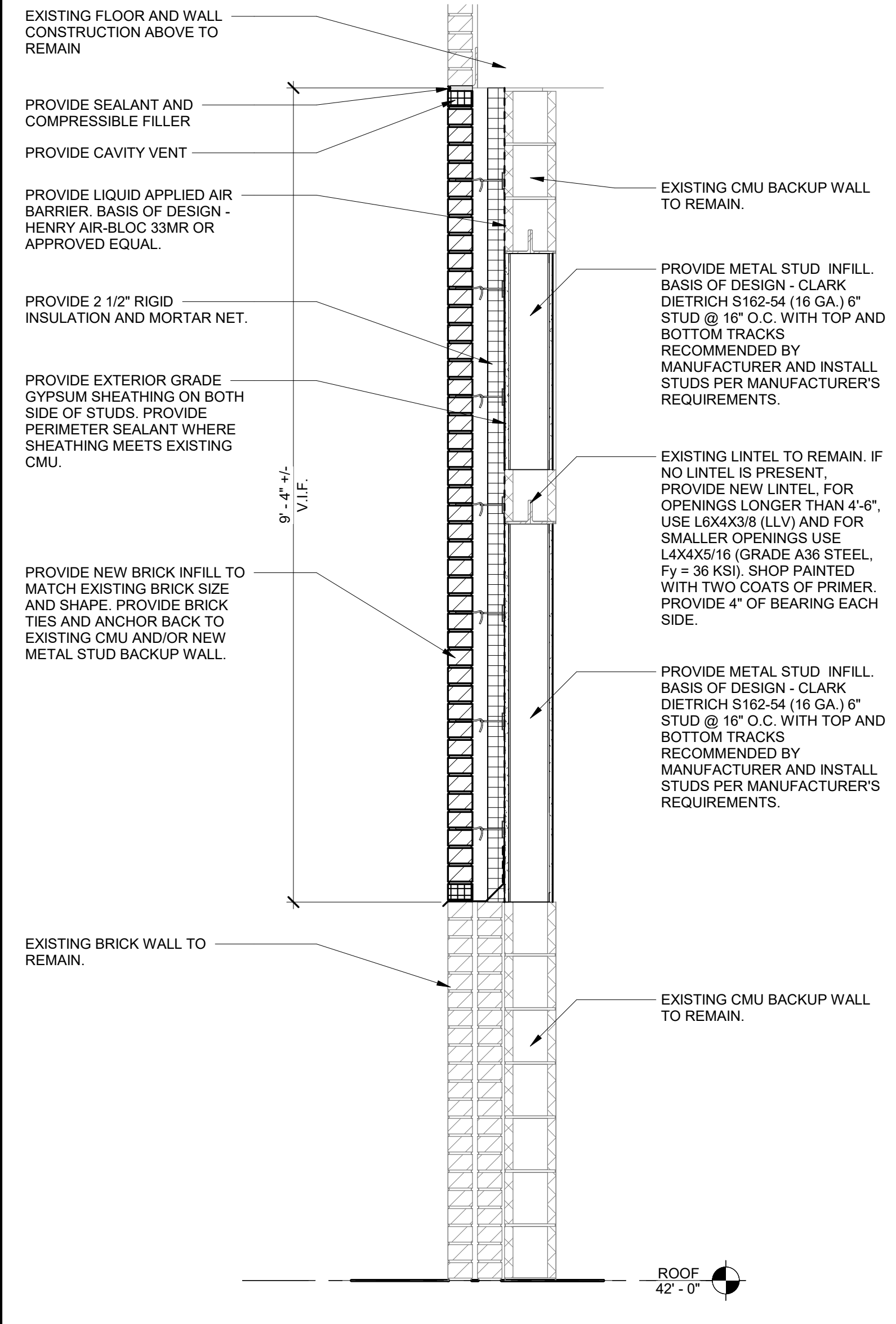
- DOOR/ WALL - DEMOLITION
- DOOR/ WALL - EXISTING
- DOOR/ WALL - NEW
- ITEMS FOR DEMOLITION
- WALL - BRICK
- WALL - CMU
- WALL - CONCRETE
- WALL - METAL STUD/ GWB
- WALL - EXISTING
- TAG - DOOR
- TAG - WINDOW
- TAG - WALL
- TAG - ROOM #
- CENTER LINE
- LEVEL MARKER
- COLUMN GRID MARKER
- ELEVATION MARKER
- ELEVATION CHANGE ARROWS
- BREAK LINE
- 1-HOUR FIRE SEPARATION
- 2-HOUR FIRE SEPARATION
- NOT IN CONTRACT
- MATCHLINE



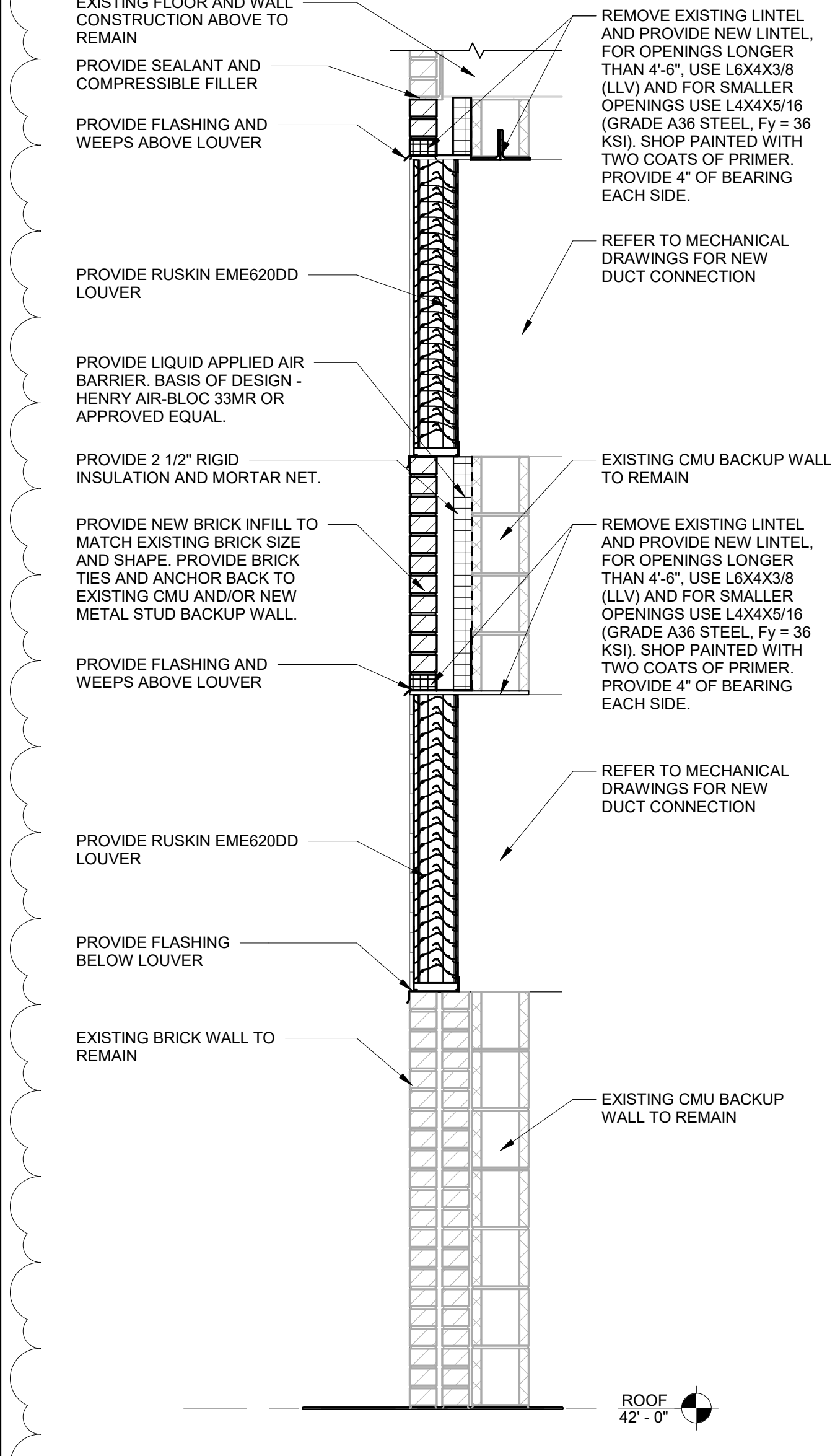
- NOTE:
- PROVIDE ONE LAYER 5/8" TYPE "X" GWB ON BOTH SIDES FOR 1 HR RATED CONSTRUCTION. PROVIDE FIRE RATED SAFING AND SEALANT AT TOP OF WALL. (UL U465)
 - PROVIDE TWO LAYERS 5/8" TYPE "X" GWB ON BOTH SIDES FOR 2 HR RATED CONSTRUCTION. PROVIDE FIRE RATED SAFING AND SEALANT AT TOP OF WALL. (UL U403)
 - GYP WALLBOARD ALWAYS GO FULL HEIGHT OF METAL STUDS

1 PARTITION TYPES NOT TO SCALE

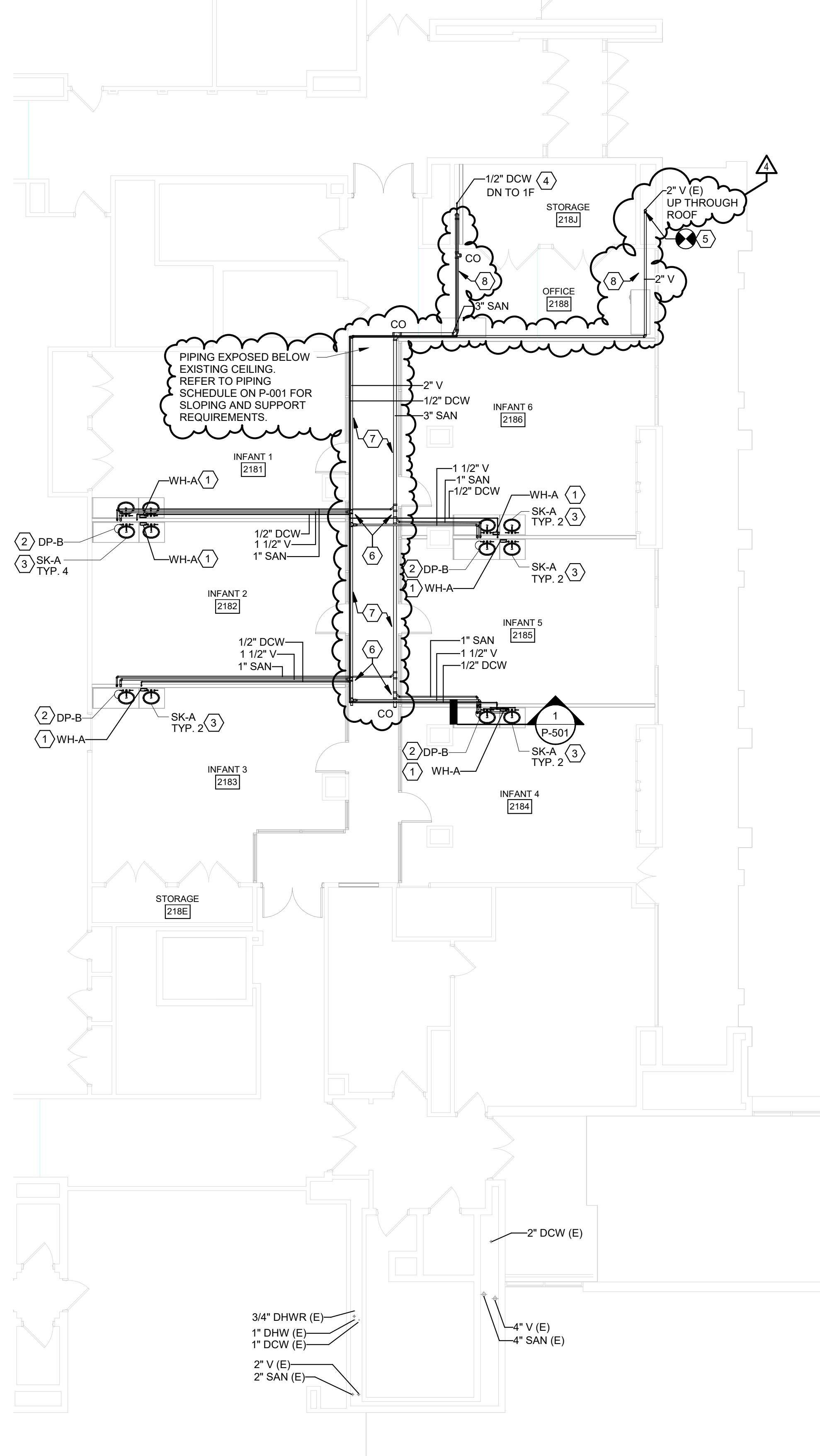
- PARTITION TYPES:
- P1: 3-5/8" METAL STUD WITH 1 LAYER OF 5/8" TYPE X GYPSUM WALL BOARD ON BOTH SIDES. SEE NOTES ON PLAN FOR HEIGHT. NO FIRE RATING
 - P1.1: SAME AS P1, BUT CONTINUOUS TO DECK ABOVE AND 1-HOUR FIRE RATED
 - P2: 6" METAL STUD WITH 1 LAYER OF 5/8" TYPE X GYPSUM WALL BOARD ON BOTH SIDES. NO FIRE RATING TYPICAL HEIGHT: 9'-0" HEIGHT AT WINDOWS 3'-0"
 - P3: 3-5/8" METAL STUD WITH 1 LAYER OF 5/8" TYPE X GYPSUM WALL BOARD ON ONE SIDE. NO FIRE RATING
 - P4: 2-1/2" METAL STUD WITH 1 LAYER OF 5/8" TYPE X GYPSUM WALL BOARD ON ONE SIDE. NO FIRE RATING



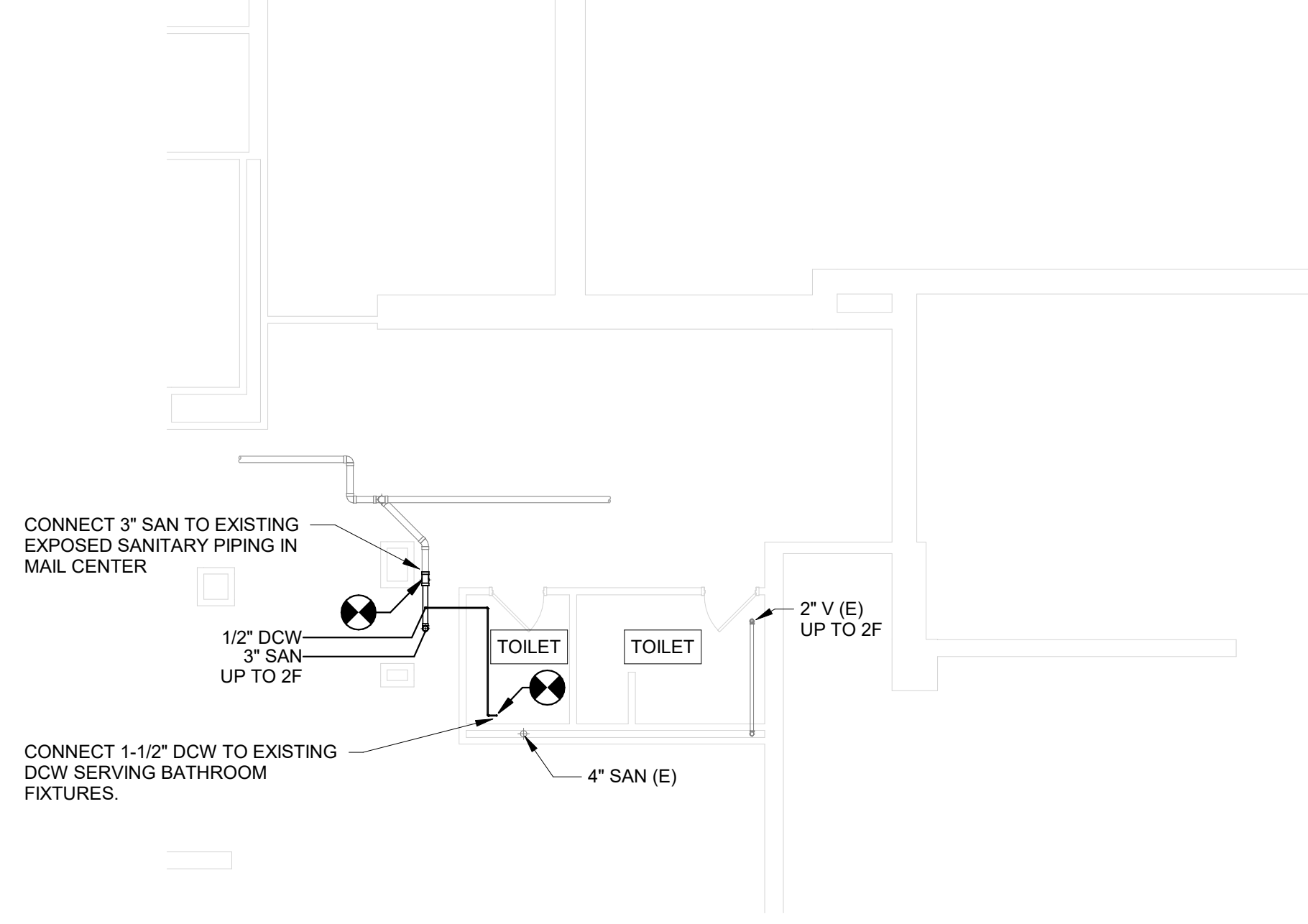
2 WALL SECTION AT PENTHOUSE WALL INFILL SCALE: 3/4" = 1'-0"



3 WALL SECTION AT PENTHOUSE LOUVERS SCALE: 3/4" = 1'-0"



2 PLUMBING 2ND FLOOR RENOVATION PLAN
SCALE: 1/8" = 1'-0"



1 PLUMBING 1ST FLOOR RENOVATION PLAN
SCALE: 1/8" = 1'-0"

#	P-101 KEYED RENOVATION NOTES
1	PROVIDE ELECTRIC INSTANTANEOUS WATER HEATER WITH INTEGRAL THERMOSTATIC CONTROL. STIEBEL ELTRON MINI-E 2.5-1 OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. WATER HEATER TO BE LOCATED WITHIN CASEWORK.
2	PROVIDE SUMP PUMP, DP-B, PER SCHEDULE. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. SUMP PUMP TO BE LOCATED WITHIN CASEWORK.
3	PROVIDE HANDWASHING SINK, SK-A, WITH MANUAL FAUCET AND ACCESSORIES PER SCHEDULE.
4	PENETRATE FLOOR AND ROUTE TO PIPING TO FLOOR BELOW.
5	CONNECT TO EXISTING 2" V FROM RESTROOM BELOW UP THROUGH ROOF.
6	ROUTE PIPING THROUGH PARTITION WALL PANELS. COORDINATE FINAL LOCATION WITH GC.
7	UTILIZE PIPE STRAPS TO ATTACH PIPING TO PARTITION WALL SYSTEM. COORDINATE SECUREMENT POINTS WITH GC. REFER TO P-001 FOR SUPPORT SPACING REQUIREMENTS.
8	PROVIDE HANGERS IN WAFFLE SLAB ABOVE TO SUPPORT PIPING. REFER TO P-001 FOR SUPPORT SPACING REQUIREMENTS.

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1	01/16/24 ISSUE FOR DD REVIEW
2	02/16/24 ISSUE FOR 75% REVIEW
3	02/29/24 ISSUE FOR CONSTRUCTION
4	04/01/24 ADDENDUM 1

N

0' 2' 4' 8'

SCALE: 1/4" = 1'-0"

107 JESSUP ROAD
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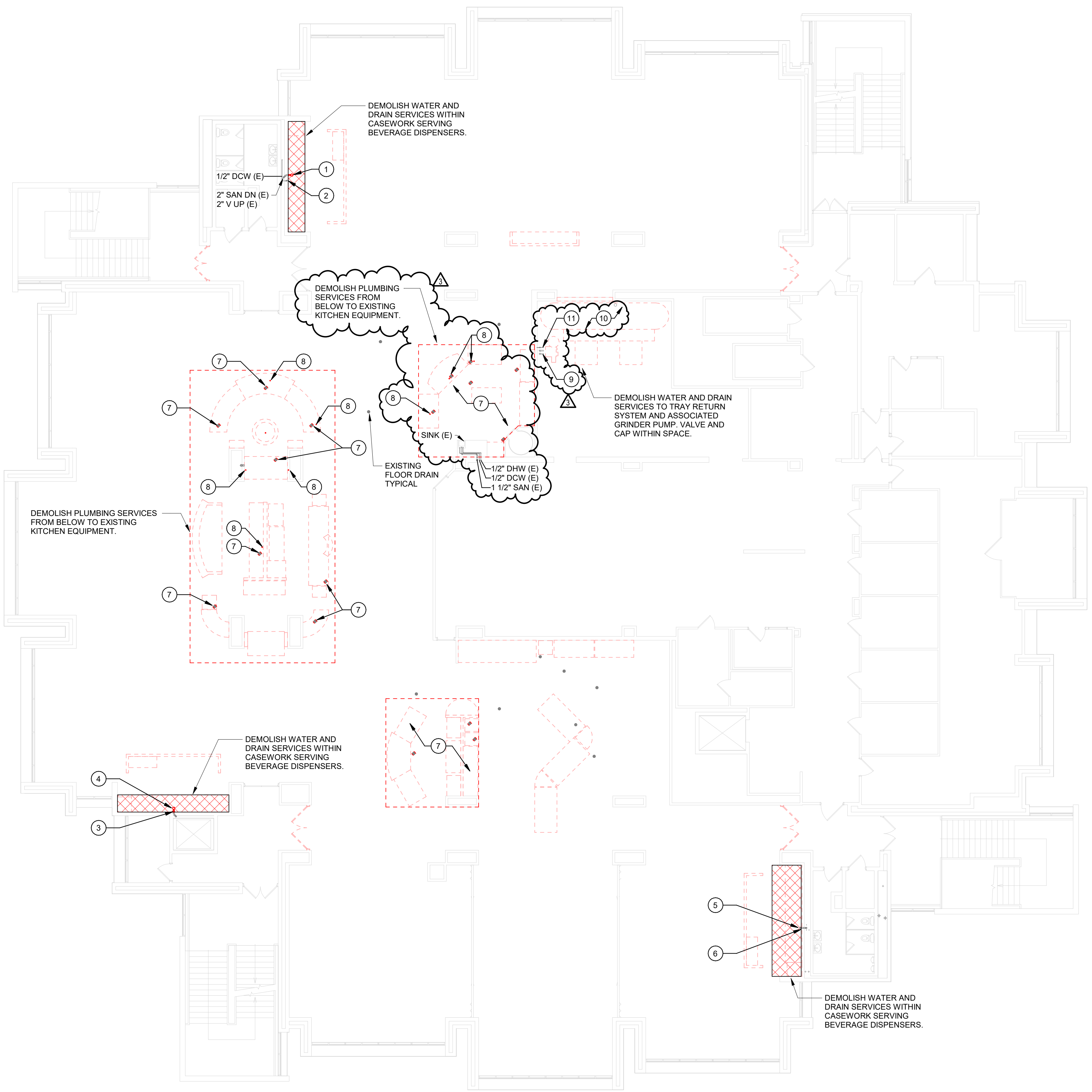
**CHILD CARE
SWING SPACE
RPCC**

DATE:	APRIL 1, 2024
FACILITY:	2116/3212
DESIGN:	V. KRAMER
DRAWN:	VAK

**PLUMBING FIRST
AND SECOND
FLOOR
RENOVATION
PLANS**

P-101R
15808624


ARCHIVE BAR CODE



1 PLUMBING 3RD FLOOR DEMOLITION PLAN
SCALE: 3/32" = 1'-0"

P-102 KEYED DEMOLITION NOTES

- 1 DEMOLISH EXISTING FUNNEL AND P-TRAP. PREPARE PIPING FOR RECONNECTION.
- 2 DEMOLISH EXISTING HOSE BIBB FROM DCW PIPING. ISOLATION VALVE TO REMAIN. PREPARE PIPING FOR RECONNECTION.
- 3 CUT DOMESTIC WATER PIPING BACK TO POINT WITHIN CHASE. PROVIDE ISOLATION VALVE AND CAP.
- 4 DEMOLISH FUNNEL AND P-TRAP. CUT SANITARY PIPING BACK WITHIN CHASE AND CAP.
- 5 SANITARY PIPING THROUGH WALL TO REMAIN AT THIS LOCATION. DEMOLISH FUNNEL AND PREPARE FOR RECONNECTION.
- 6 DEMOLISH DOMESTIC COLD WATER PIPING BACK TO WITHIN WALL AND PREPARE FOR RECONNECTION.
- 7 FOR ALL FLOOR DRAINS IN EXISTING QUARRY TILE: REMOVE FLOOR DRAIN STRAINER, PROVIDE SCREW-ON SOLID FLOOR DRAIN COVER. CONTRACTOR TO CONFIRM EXISTING STRAINER SIZE, DRAIN MAKE/MODEL, AND QUANTITY. COORDINATE WITH QUARRY TILE DEMOLITION.
- 8 CUT PIPE FLUSH TO FLOOR LEVEL AND CAP.
- 9 DISCONNECT 2" SLURRY SUPPLY AND RETURN PIPING FROM PULPER. CAP WITHIN SPACE.
- 10 DEMOLISH INDIRECT DRAIN PIPING FROM TRAY RETURN. FLOOR SINKS TO REMAIN WITHIN SPACE.
- 11 DISCONNECT 1/2" DCW TO TRAY RETURN. DEMOLISH BACK TO VALVE AND CAP WITHIN SPACE.



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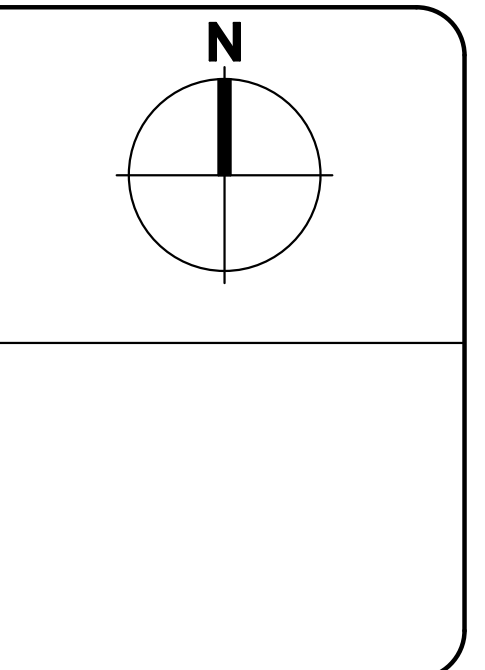
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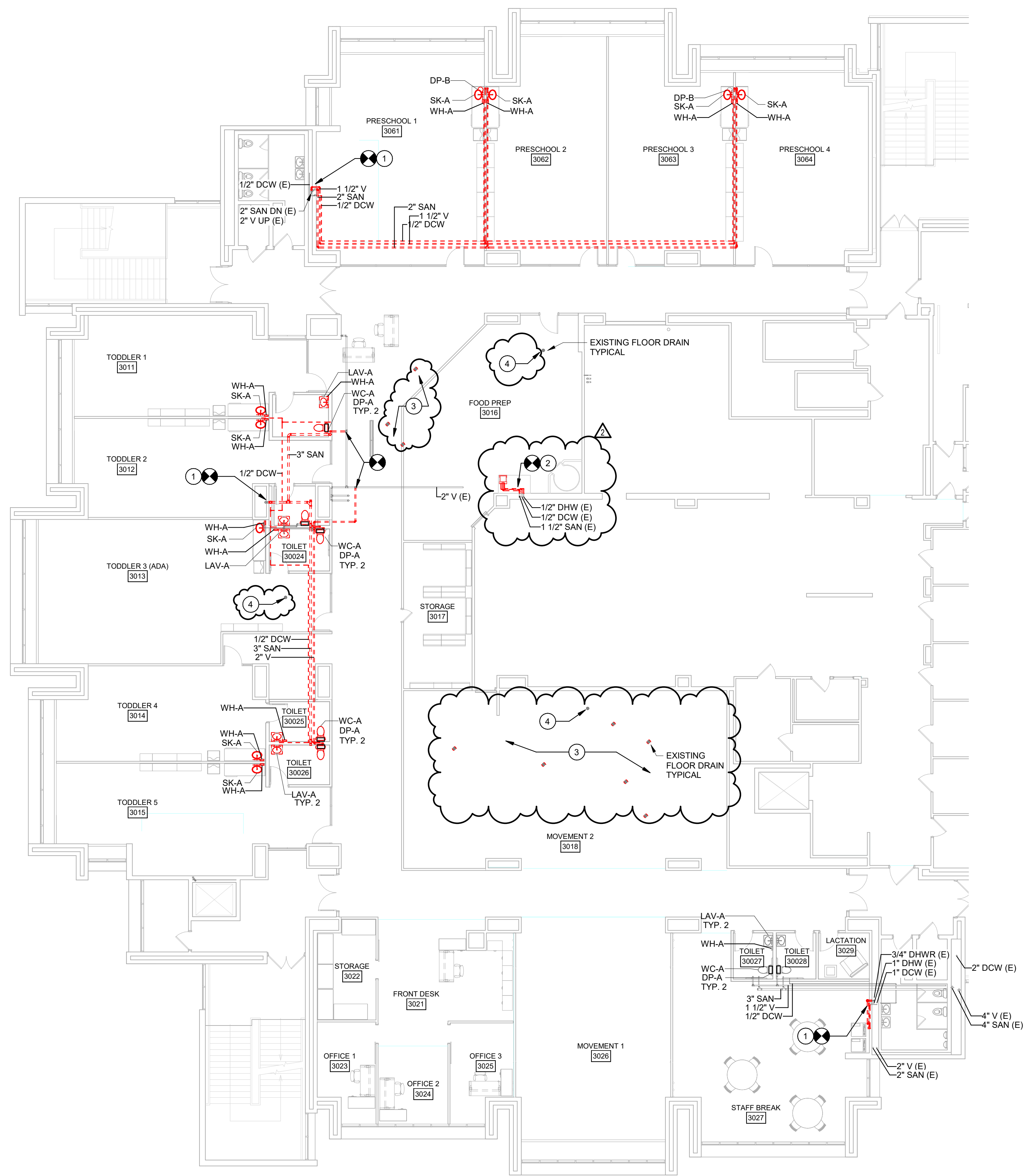
CHILD CARE SWING SPACE RPCC

DATE:	APRIL 1, 2024
FACILITY:	2116/3212
DESIGN:	V. KRAMER
DRAWN:	VAK

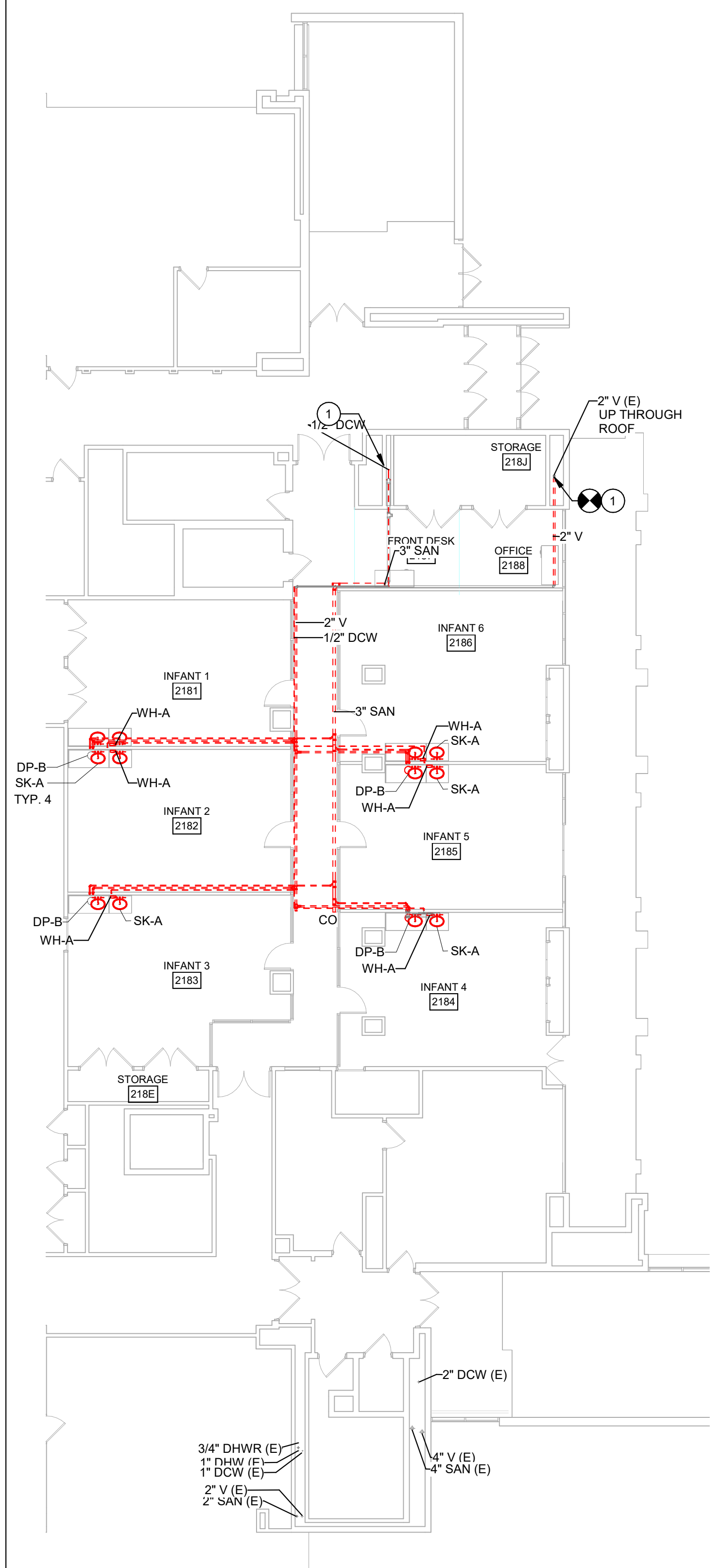
PLUMBING THIRD FLOOR DEMOLITION PLAN

P-102R
15808624

ARCHIVE BAR CODE



1 PLUMBING 3RD FLOOR RECONSTRUCTION - PHASE 3
SCALE: 3/32" = 1'-0"



2 PLUMBING 2ND FLOOR RECONSTRUCTION PLAN - PHASE 3
SCALE: 3/32" = 1'-0"

P-104 3RD FLOOR RECONSTRUCTION NOTES

- 1 DEMOLISH PIPING SERVING TEMPORARY CHILD CARE CENTER. PROVIDE VALVE AND CAP WITHIN CHASE. RESTORE WALL FINISH PER ARCHITECTURAL DRAWINGS.
- 2 DEMOLISH EXISTING SINK. CUT BACK PLUMBING PIPING AND CAP WITHIN WALL.
- 3 REMOVE FLOOR DRAIN STRAINER. PROVIDE SCREW-ON SOLID FLOOR DRAIN COVER. CONTRACTOR TO CONFIRM EXISTING STRAINER SIZE, DRAIN MAKE/MODEL AND QUANTITY. COORDINATE WITH PREPARATION FOR NEW FLOORING.
- 4 ONE EXISTING FLOOR DRAIN IN THIS VICINITY IS TO REMAIN. INSTALL TRAP SEAL AND NEW STRAINER. ACCEPTABLE TRAP SEALS INCLUDE: SIOUX CHIEF TRAP SHIELD, ZURN ZSHIELD. REVIEW LOCATION WITH OWNER.

P-104 2ND FLOOR RECONSTRUCTION NOTES

- 1 DEMOLISH PIPING SERVING TEMPORARY CHILD CARE CENTER. PROVIDE VALVE AND CAP WITHIN CHASE. RESTORE WALL FINISH PER ARCHITECTURAL DRAWINGS.

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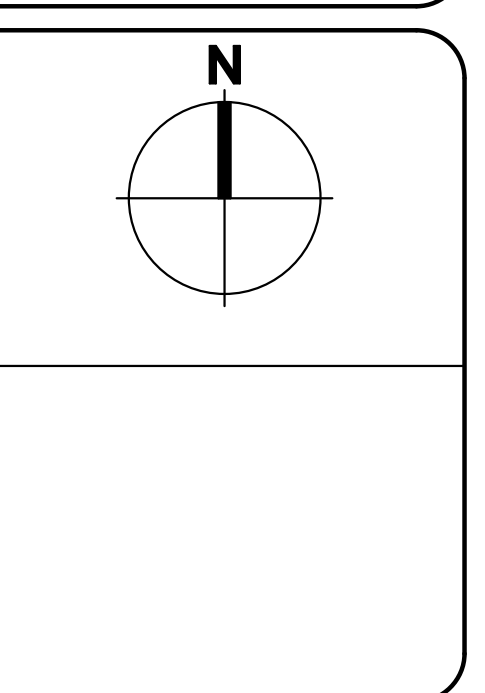
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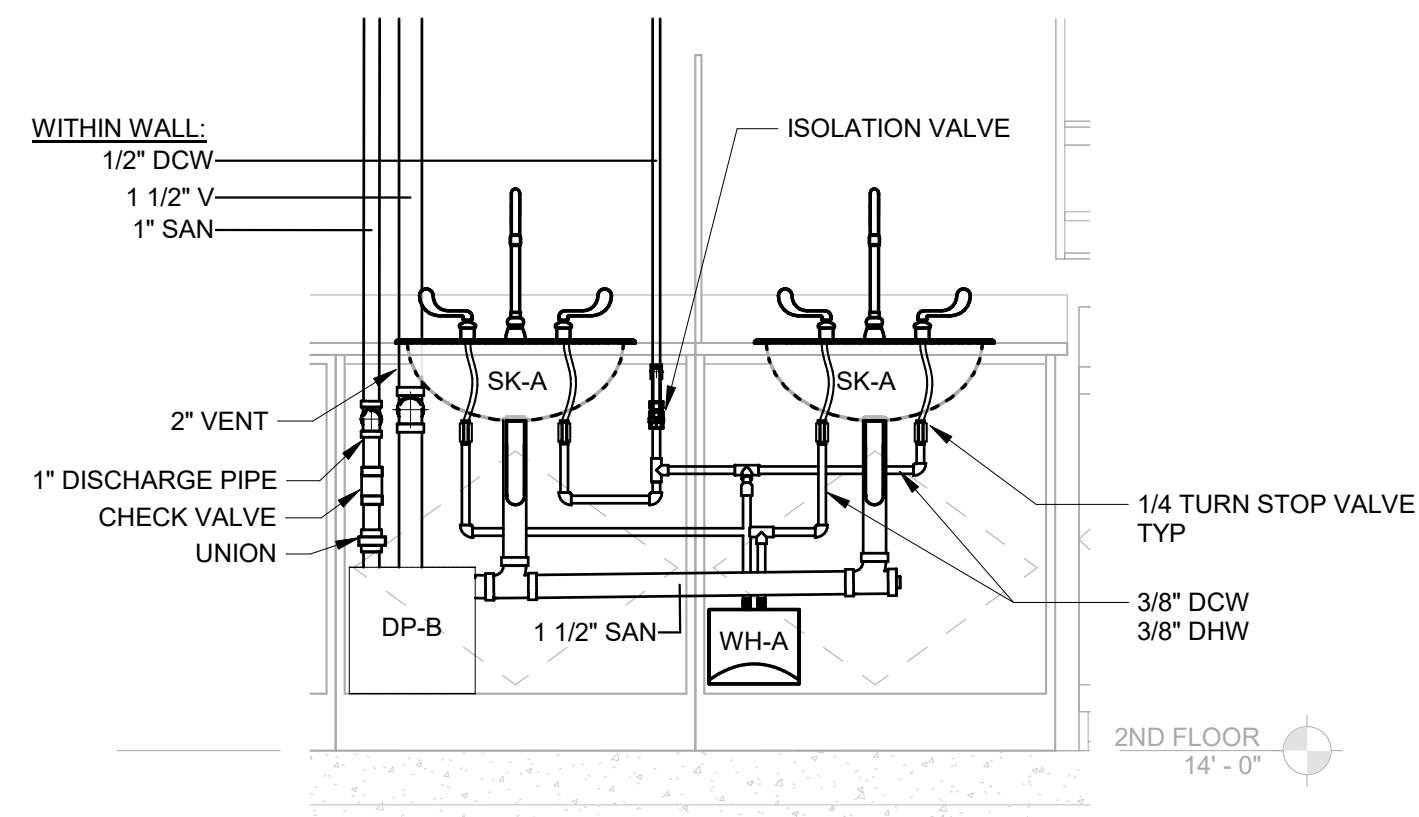
CHILD CARE SWING SPACE RPCC

DATE:	APRIL 1, 2024
FACILITY:	2116/3212
DESIGN:	V. KRAMER
DRAWN:	VAK

PLUMBING RECONSTRUCTION PLANS

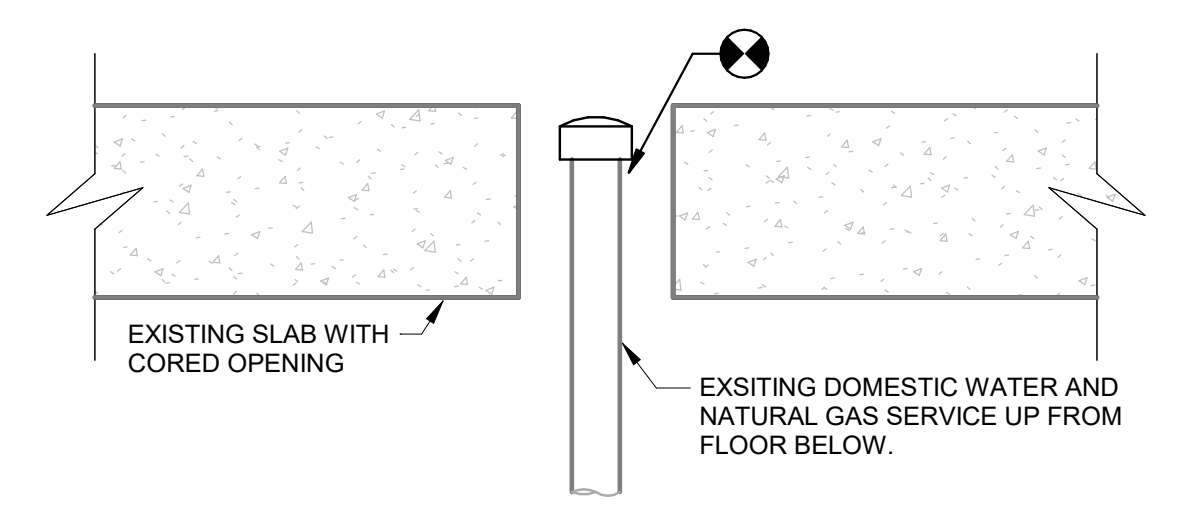
P-104R
15808624

ARCHIVE BAR CODE



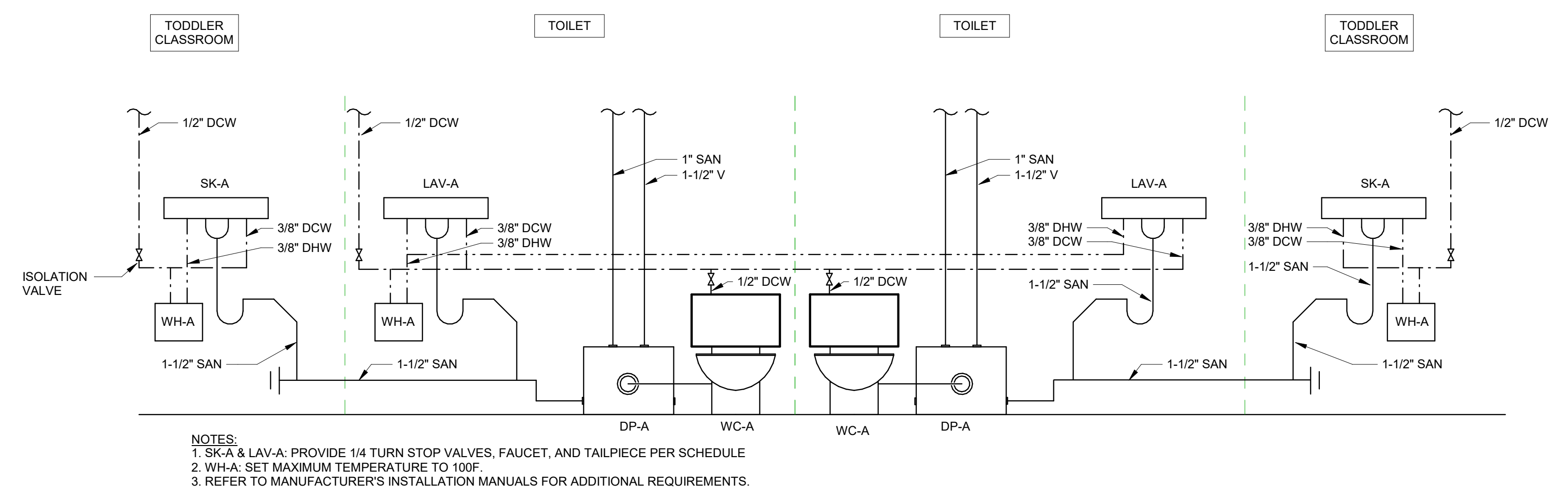
- NOTES:
- SK-A: PROVIDE 1/4 TURN STOP VALVES, FAUCET AND TAILPIECE PER SCHEDULE
 - WH-A: SET MAXIMUM TEMPERATURE TO 100F.
 - REFER TO MANUFACTURER'S INSTALLATION MANUALS FOR ADDITIONAL REQUIREMENTS.

1 SECOND FLOOR SINK FIT UP DETAIL
 NOT TO SCALE



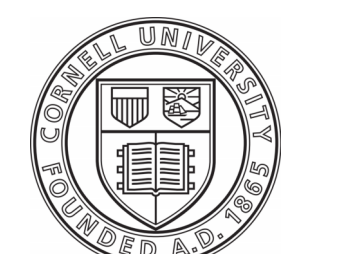
- NOTES:
- CUT AND CAP PIPING MIN. 1/2" BELOW FLOOR SLAB LEVEL.
 - COORDINATE SHUT DOWNS WITH FACILITY MANAGER.

3 PLUMBING SERVICE THROUGH FLOOR DEMOLITION
 NOT TO SCALE



- NOTES:
- SK-A & LAV-A: PROVIDE 1/4 TURN STOP VALVES, FAUCET, AND TAILPIECE PER SCHEDULE
 - WH-A: SET MAXIMUM TEMPERATURE TO 100F.
 - REFER TO MANUFACTURER'S INSTALLATION MANUALS FOR ADDITIONAL REQUIREMENTS.

2 THIRD FLOOR RESTROOM SCHEMATIC
 NOT TO SCALE



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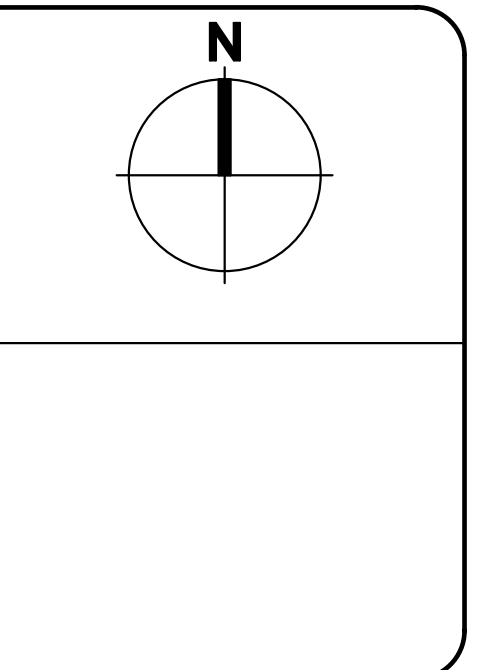
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CHILD CARE
 SWING SPACE
 RPCC

DATE:	APRIL 1, 2024
FACILITY:	2116/3212
DESIGN:	V. KRAMER
DRAWN:	VAK

PLUMBING
 DETAILS

P-501
 15808624

ARCHIVE BAR CODE

M-103 KEYED DEMOLITION NOTES

- 1 DEMOLISH EXISTING UPBLAST EXHAUST FAN. RETAIN CURB AND PREPARE FOR REUSE.
- 2 DEMOLISH EXISTING UPBLAST EXHAUST FAN. RETAIN CURB AND SEAL DUCT PENETRATION.

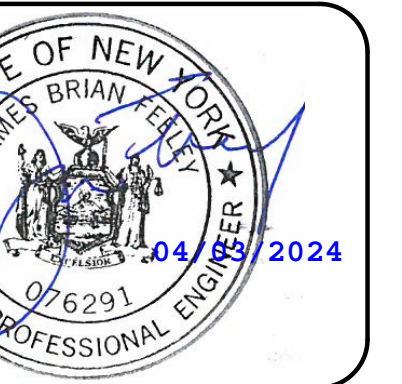


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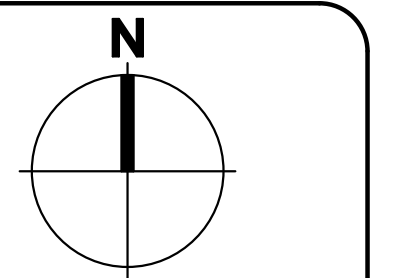
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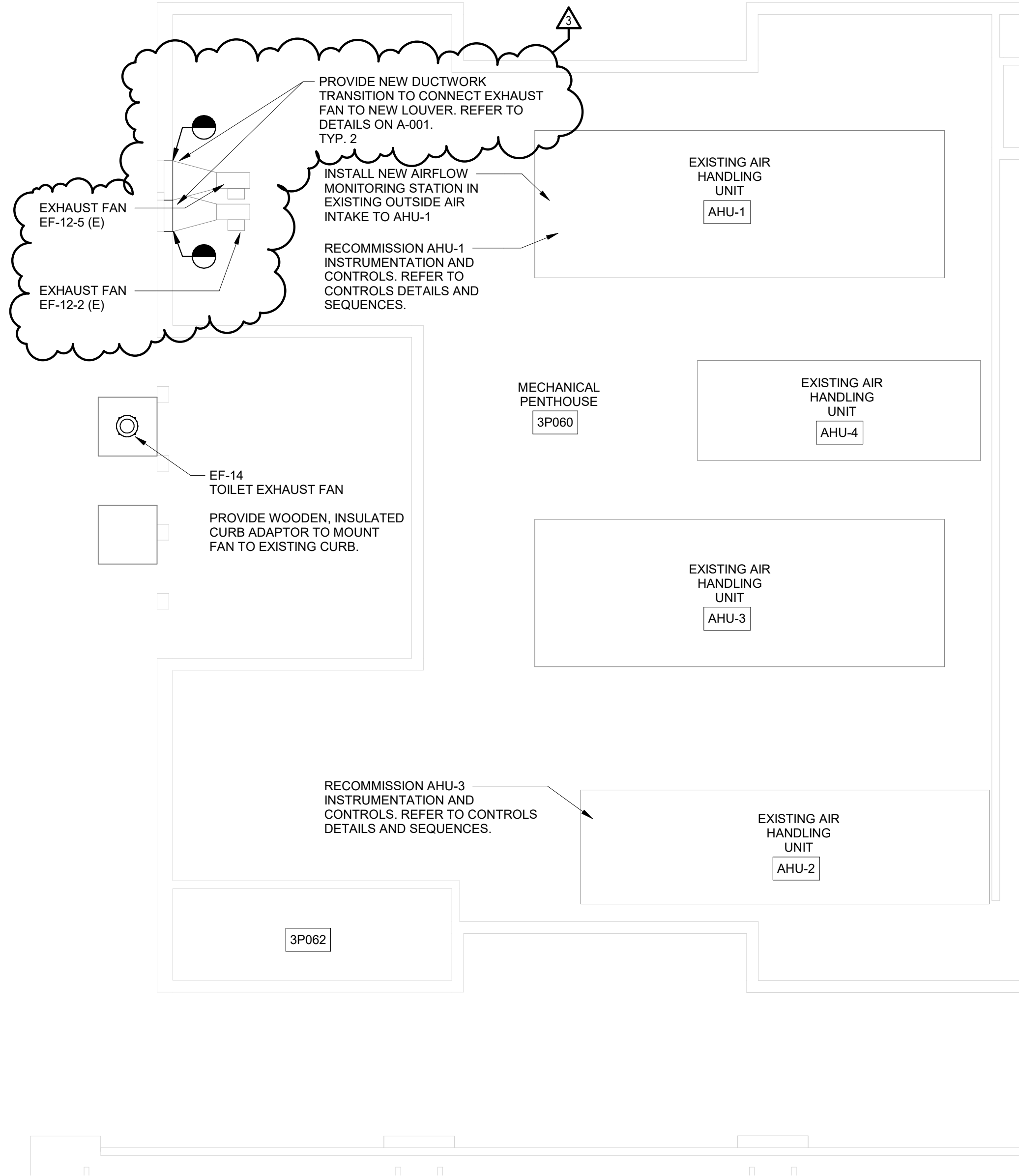
**CHILD CARE
SWING SPACE
RPCC**

DATE:	APRIL 1, 2024
FACILITY:	2116/3212
DESIGN:	V. KRAMER
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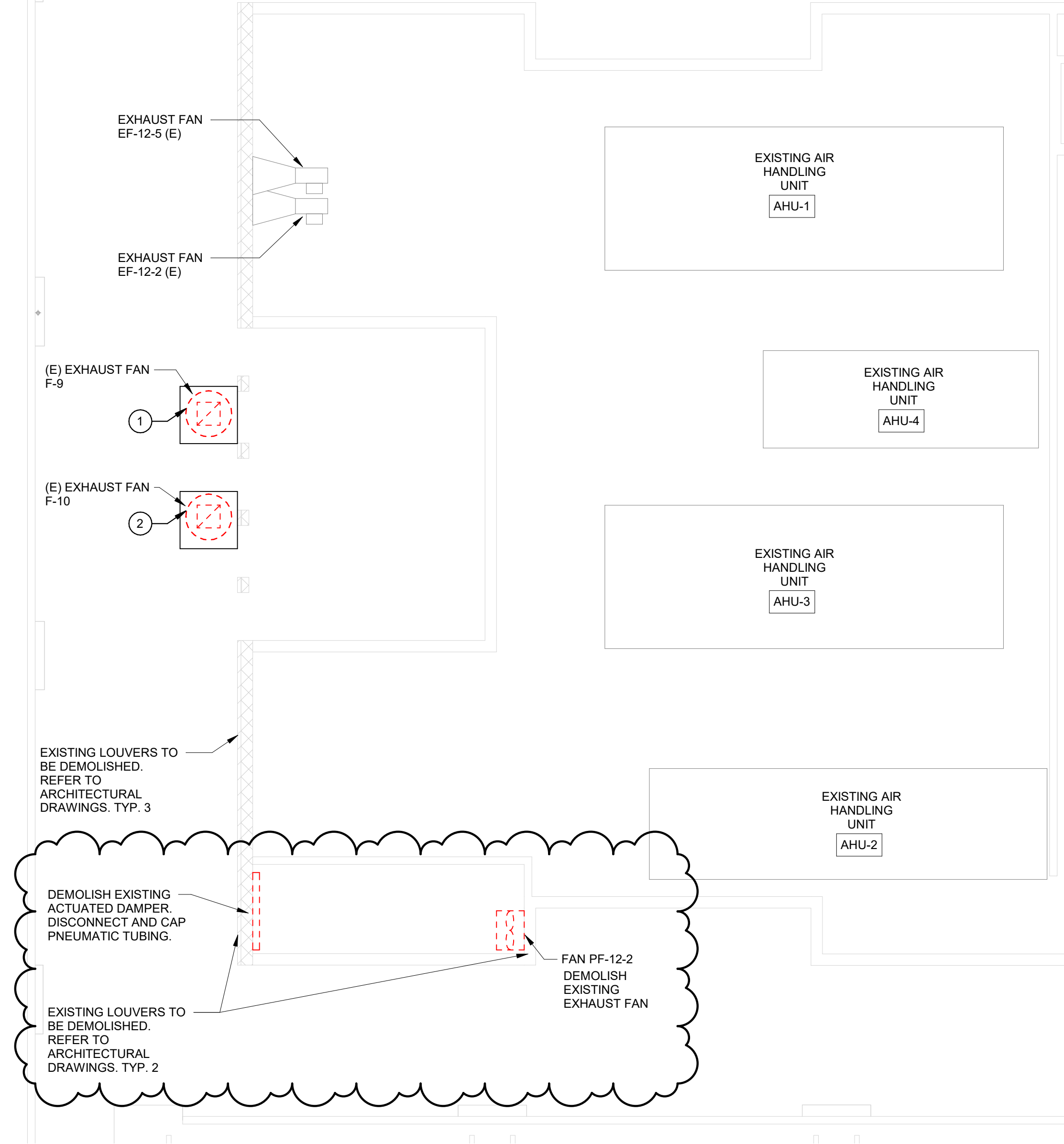
**MECHANICAL
ROOF
DEMOLITION AND
RENOVATION
PLANS**

M-103R
15808624

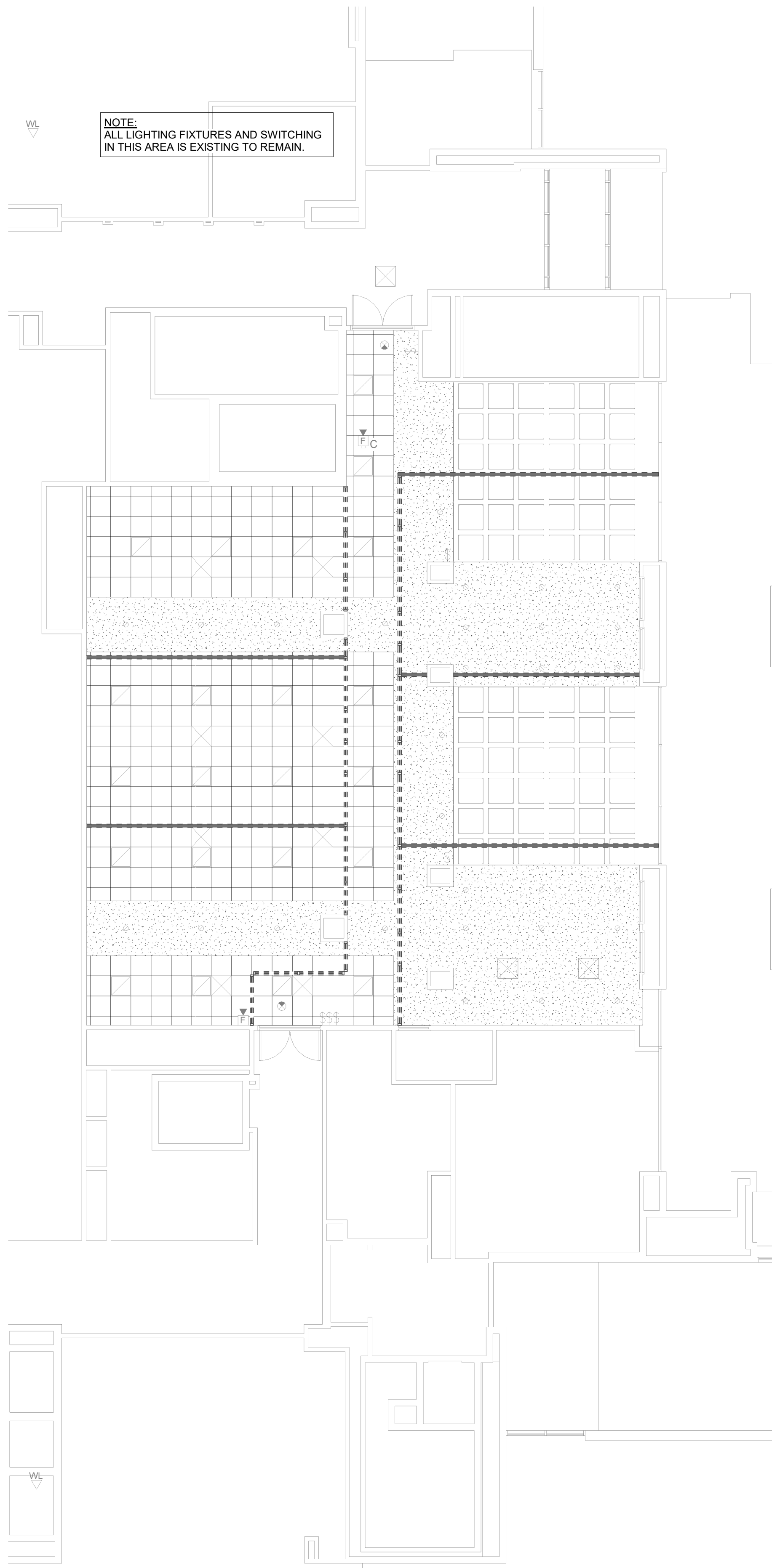
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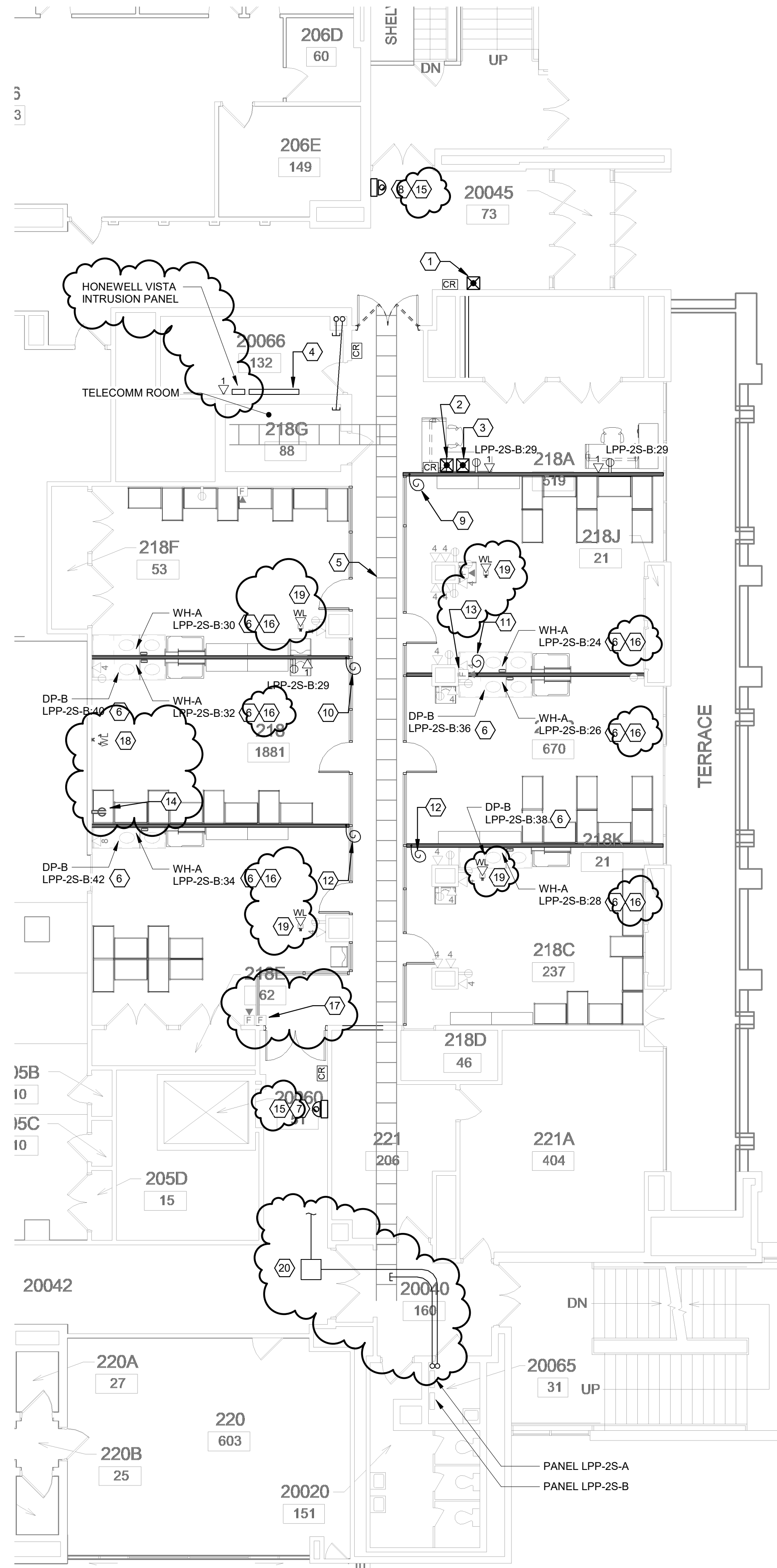
2 MECHANICAL ROOF INSTALLATION PLAN
SCALE: 1/8" = 1'-0"



1 MECHANICAL ROOF DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



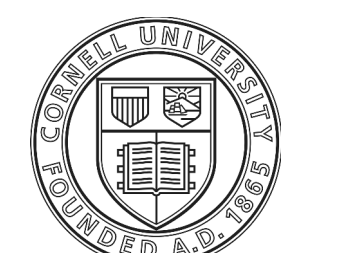
2 2ND FLOOR LIGHTING PLAN
SCALE: 1/8" = 1'-0"



1 2ND FLOOR POWER PLAN
SCALE: 1/8" = 1'-0"

E-101 KEYED RENOVATION NOTES

- 1 PROVIDE AUDIO INTERCOM WALL CALL UNIT TYPE AIPHONE LE-SS-1G. SURFACE MOUNT SHALLOW JUNCTION BOX AND ROUTE 3/4" EMT FOR WIRING.
- 2 PROVIDE AUDIO INTERCOM MASTER UNIT TYPE AIPHONE LEF-3. SURFACE MOUNT SHALLOW JUNCTION BOX AND ROUTE 3/4" EMT FOR WIRING.
- 3 JUNCTION BOX FOR CONNECTION TO PANIC BUTTON. PROVIDE HONEYWELL VISTA-20P SYSTEM WITH 6160 KEY PAD AND 5881 RF RECEIVER. PROGRAM TO CALL CORNELL POLICE WITH RECORDED MESSAGE. ROUTE 14/4 CABLE TO STORAGE ROOM AND FLOOR.
- 4 ROUTE ACCESS CONTROL CIRCUITRY TO THIS LOCATION. SEE DETAIL ON SHEET E-301 FOR ADDITIONAL INFORMATION.
- 5 APPROXIMATE LOCATION OF EXISTING CABLE TRAY ABOVE CEILING.
- 6 PROVIDE NEW 20A, 1-POLE BREAKER AT CIRCUIT INDICATED FOR CONNECTION TO MECHANICAL EQUIPMENT AS SHOWN. ROUTE 2#12, 1#12G IN 3/4" CONDUIT TO CIRCUIT NOTED.
- 7 SECURITY CAMERA SHALL BE AXIS #P3827-PVE. MOUNT SHALLOW BOX AT 84" AFF TO CENTER OF BOX (UON). ROUTE 3/4" EMT AND CAT 6 CABLE TO 2ND FLOOR TELECOMM ROOM.
- 8 RELOCATE EXISTING SECURITY CAMERA TO 84" AFF TO CENTER OF BOX.
- 9 WALL SYSTEM SHALL BE PRE-WIRED FOR ELECTRICAL CIRCUITS. WALL SHALL HAVE A WHIP EXTENDING AT THIS LOCATION WITH A CIRCUIT OF 1#12(PHASE), 1#12(NEUTRAL), 1#12(GROUND). CONTRACTOR SHALL MAKE CONNECTION TO THE WHIP AND CONNECT TO CIRCUIT SHOWN.
- 10 WALL SYSTEM SHALL BE PRE-WIRED FOR ELECTRICAL CIRCUITS. WALL SHALL HAVE A WHIP EXTENDING AT THIS LOCATION WITH A CIRCUIT OF 4#12(PHASE), 4#12(NEUTRAL), 1#12(GROUND). CONTRACTOR SHALL MAKE CONNECTION TO THE WHIP AND CONNECT TO CIRCUITS SHOWN.
- 11 WALL SYSTEM SHALL BE PRE-WIRED FOR ELECTRICAL CIRCUITS. WALL SHALL HAVE A WHIP EXTENDING AT THIS LOCATION WITH A CIRCUIT OF 3#12(PHASE), 3#12(NEUTRAL), 1#12(GROUND). CONTRACTOR SHALL MAKE CONNECTION TO THE WHIP AND CONNECT TO CIRCUITS SHOWN.
- 12 WALL SYSTEM SHALL BE PRE-WIRED FOR ELECTRICAL CIRCUITS. WALL SHALL HAVE A WHIP EXTENDING AT THIS LOCATION WITH A CIRCUIT OF 2#12(PHASE), 2#12(NEUTRAL), 1#12(GROUND). CONTRACTOR SHALL MAKE CONNECTION TO THE WHIP AND CONNECT TO CIRCUITS SHOWN.
- 13 IF REQUIRED, RELOCATE FIRE ALARM DEVICE TO THE SOUTH SIDE OF THE NEW DIRT WALL SYSTEM. COORDINATE WITH WALL SYSTEM INSTALLATION.
- 14 REMOVE EXISTING RECEPTACLE. PROVIDE BLANK FACEPLATE TO COVER.
- 15 CONFIRM LOCATION OF ALL CAMERAS WITH CORNELL ACCESS CONTROL PRIOR TO INSTALLATION. CONTACT ADAM MAHNKE AT am29@cornell.edu
- 16 PROVIDE 20A, 120V, SINGLE POLE MOTOR-RATED SWITCH FOR DISCONNECTING MEANS IN HARD-WIRED CONNECTION TO WH-A.
- 17 EXISTING FIRE ALARM PULL STATION AND HORN/STROBE DEVICES SHALL BE RELOCATED TO THE DOOR-SIDE OF THE NEW TEMPORARY WALL SYSTEM.
- 18 EXISTING WALL-MOUNTED WIFI DEVICE SHALL BE REMOVED/RELOCATED.
- 19 ROUTE TWO CAT 6A CABLES TO NEW CEILING-MOUNTED WIFI DEVICE. CONFIRM EXACT LOCATION WITH CIT PRIOR TO INSTALLATION.
- 20 PROVIDE 24"X24"X6" JUNCTION BOX ABOVE CEILING FOR ACCESS CONTROL AND SECURITY WIRING. ROUTE 2" CONDUIT TO TELECOMM ROOM ON 2ND FLOOR. CONFIRM EXACT ROUTING IN FIELD.




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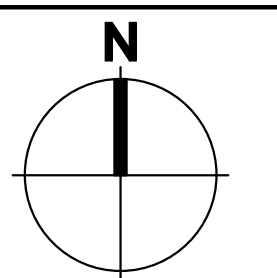
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4	04/01/24	ADDENDUM 1



SCALE: 1/4" = 1'-0"

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ITHACA, NEW YORK 14850

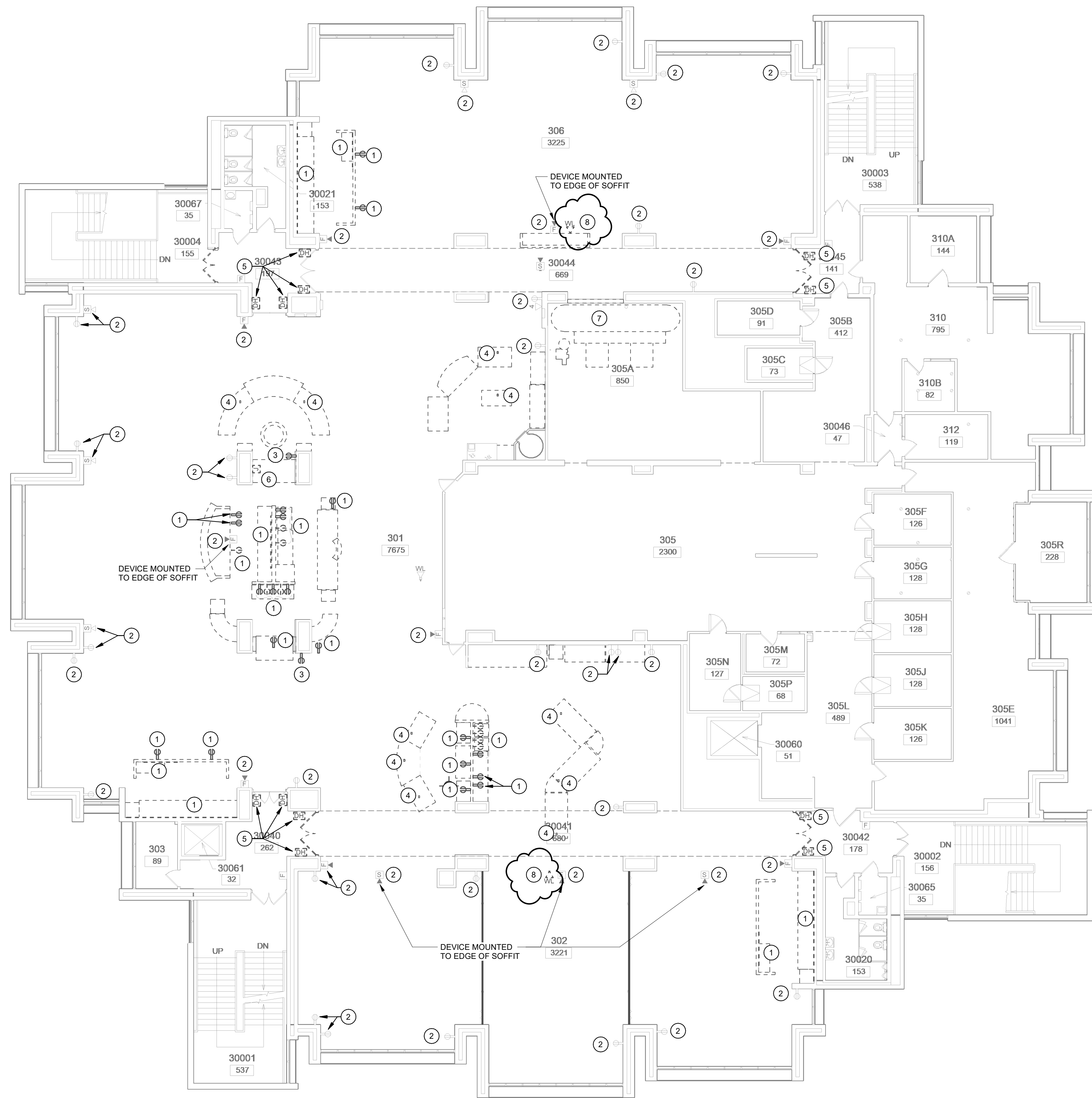
CHILD CARE CENTER SWING SPACE RPCC

DATE:	APRIL 1, 2024
FACILITY:	2116/3212
DESIGN:	P. TAYLOR
DRAWN:	PBT

2ND FLOOR POWER AND LIGHTING PLANS

E-101R
15808624

ARCHIVE BAR CODE



1 3RD FLOOR DEMOLITION POWER PLAN
SCALE: 3/32" = 1'-0"

- # E-102 KEYED DEMOLITION NOTES**
- 1 DEMOLISH EXISTING DEVICE. WIRING SERVING EXISTING CIRCUITS MAY BE REUSED FOR NEW DEVICES AS SHOWN ON POWER AND LIGHTING PLANS. MARK ALL UNUSED CIRCUITS AS 'SPARE' IN PANEL SCHEDULES.
 - 2 EXISTING DEVICE TO REMAIN.
 - 3 REMOVE EXISTING RECEPTACLE. PROVIDE BLANK FACEPLATE.
 - 4 EXISTING POWER FEED TO KITCHEN EQUIPMENT IS STUBBED UP THROUGH FLOOR. REMOVE ALL WIRING AND CUT CONDUIT BELOW FLOOR SURFACE. PATCH FLOOR TO MATCH ADJOINING FLOOR MATERIALS.
 - 5 DISCONNECT EXISTING DOOR HOLD DEVICE. DEVICE SHALL REMAIN AND BE RECONNECTED AT COMPLETION OF SWING SPACE USAGE.
 - 6 ANSL SYSTEM TO BE REMOVED. DISCONNECT AND REMOVE ALL FIRE ALARM CONNECTIONS.
 - 7 REMOVE POWER CONNECTION TO DISHWASHING EQUIPMENT. REMOVE ANY DISCONNECTS, CONDUIT AND CONDUCTORS BACK TO PANELBOARD AND LABEL ANY UNUSED CIRCUITS AS SPARE.
 - 8 EXISTING WALL-MOUNTED WIFI DEVICE SHALL BE REMOVED/RELOCATED.

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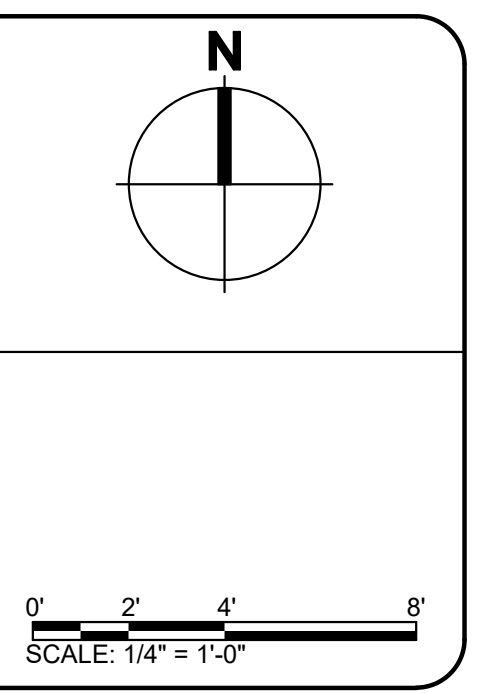
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ARCH/ CIVIL: *WJ*
ELECTRICAL: *ZTR*
MECHANICAL: *JF*



REVISIONS

1	01/16/24	ISSUE FOR DD REVIEW
2	02/16/24	ISSUE FOR 75% REVIEW
3	02/29/24	ISSUE FOR CONSTRUCTION
4	04/01/24	ADDENDUM 1



PROJECT ADDRESS
ITHACA, NEW YORK 14850

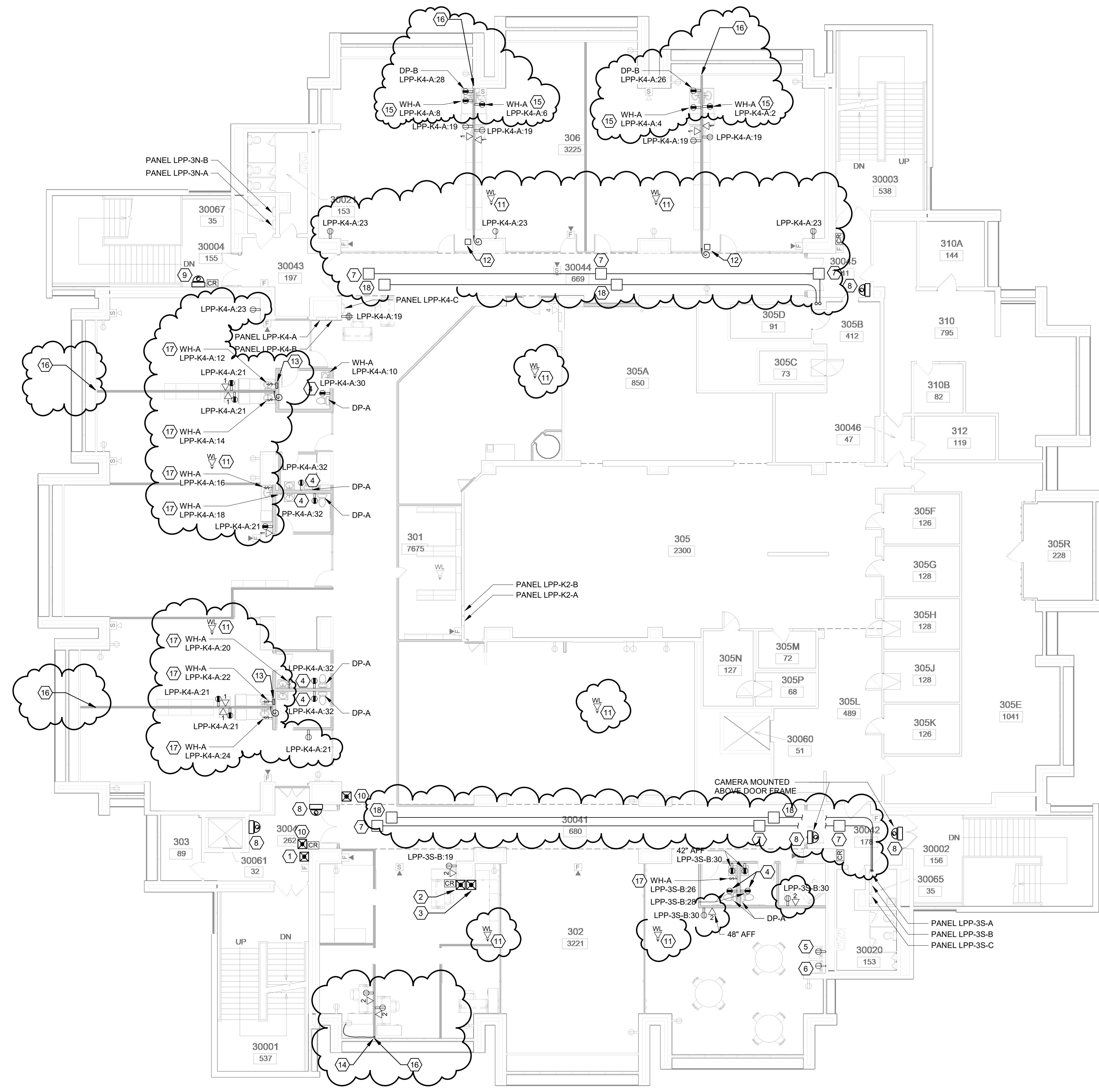
CHILD CARE CENTER SWING SPACE RPCC

DATE: APRIL 1, 2024
FACILITY: 2116/3212
DESIGN: P. TAYLOR
DRAWN: PBT

3RD FLOOR DEMOLITION POWER PLAN

E-102R
15808624

ARCHIVE BAR CODE



1 3RD FLOOR POWER PLAN
SCALE: 3/32" = 1'-0"

- ### E-103 KEYED RENOVATION NOTES
- PROVIDE AUDIO INTERCOM WALL CALL UNIT TYPE AIPHONE LE-SS-1G. SURFACE MOUNT SHALLOW JUNCTION BOX AND ROUTE 3/4" EMT FOR WIRING.
 - PROVIDE AUDIO INTERCOM MASTER UNIT TYPE AIPHONE LEF-3. SURFACE MOUNT SHALLOW JUNCTION BOX AND ROUTE 3/4" EMT FOR WIRING.
 - JUNCTION BOX FOR CONNECTION TO PANIC BUTTON. PROVIDE HONEYWELL VISTA-20P SYSTEM WITH 6160 KEY PAD AND 5881 RF RECEIVER. PROGRAM TO CALL CORNELL POLICE WITH RECORDED MESSAGE. ROUTE 14/4 CABLE TO STORAGE ROOM ON 2ND FLOOR.
 - PROVIDE GFI RECEPTACLE AT 18" AFF FOR CONNECTION TO DPA.
 - PROVIDE NEMA 5-20R FOR CONNECTION TO LAUNDRY WASHING MACHINE. CONNECT TO CIRCUIT LPP-3S-B-25.
 - PROVIDE NEMA 14-30R FOR CONNECTION TO LAUNDRY DRYER. ROUTE 4#10 IN 3/4" EMT TO LPP-3S-B-21.23.
 - PROVIDE 24"x24"x6" JUNCTION BOX ABOVE CEILING FOR LOW VOLTAGE WIRING. ROUTE 2" CONDUIT TO TELECOMM ROOM ON 2ND FLOOR AS SHOWN. CONFIRM EXACT ROUTING IN FIELD.
 - SECURITY CAMERA SHALL BE AXIS #P3265-LV. MOUNT SHALLOW BOX AT 84" AFF (UON) TO CENTER OF BOX AND ROUTE 3/4" EMT TO LOW VOLTAGE PATHWAY (SEE KEY NOTE #7). ROUTE CAT 6 CABLE TO 2ND FLOOR TELECOMM ROOM.
 - SECURITY CAMERA SHALL BE AXIS #P3827-PVE. MOUNT SHALLOW BOX AT 84" AFF (UON) TO CENTER OF BOX AND ROUTE 3/4" EMT TO LOW VOLTAGE PATHWAY (SEE KEY NOTE #7). ROUTE CAT 6 CABLE TO 2ND FLOOR TELECOMM ROOM.
 - PUSH BUTTON FOR DOOR OPERATOR. SEE DETAIL ON SHEET E-301.
 - ROUTE TWO CAT 6A CABLES TO NEW CEILING-MOUNTED WIFI DEVICE. CONFIRM EXACT LOCATION WITH CIT PRIOR TO INSTALLATION.
 - PROVIDE J-BOX IN ACCESSIBLE LOCATION ABOVE LAY-IN CEILING FOR HOMERUN CONNECTION TO WALL SYSTEM WHIP.
 - PROVIDE J-BOX IN ACCESSIBLE LOCATION WALL MOUNTED BELOW CABINETS FOR HOMERUN CONNECTION TO WALL SYSTEM WHIP.
 - CONNECT WALL SYSTEM WHIP TO EXISTING RECEPTACLE CIRCUIT AS SHOWN.
 - CONTRACTOR SHALL PROVIDE NEMA 5-20P FOR WH-A CONNECTION TO RECEPTACLE PROVIDED WITH WALL SYSTEM.
 - ALL RECEPTACLES SHOWN IN WALL SYSTEM ARE PROVIDED WITH THE WALL SYSTEM AND ARE WIRED TO WHIP PROVIDED WITH WALL SYSTEM. CONNECT TO CIRCUITS SHOWN. DATA OUTLETS ARE PROVIDED AS KNOCKOUTS. ROUTE CAT 6A CABLE THROUGH WALL TO TELECOMM ROOM ON 2ND FLOOR FOR EACH DATA OUTLET.
 - PROVIDE 20A, 120V, SINGLE POLE MOTOR-RATED SWITCH FOR DISCONNECTING MEANS IN HARD-WIRED CONNECTION TO WH-A.
 - PROVIDE 24"x24"x6" JUNCTION BOX ABOVE CEILING FOR ACCESS CONTROL AND SECURITY WIRING. ROUTE 2" CONDUIT TO TELECOMM ROOM ON 2ND FLOOR AS SHOWN. CONFIRM EXACT ROUTING IN FIELD.

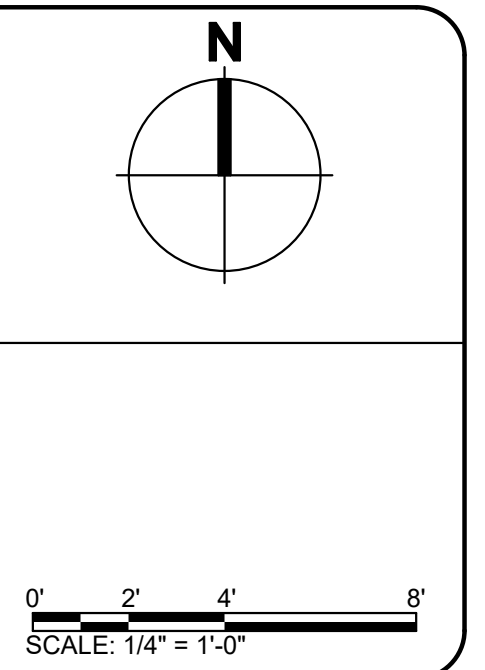
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ITHACA, NEW YORK 14853-3701

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PROJECT ADDRESS
ITHACA, NEW YORK 14850

CHILD CARE CENTER SWING SPACE RPCC

DATE: APRIL 1, 2024
FACILITY: 2116/3212
DESIGN: P. TAYLOR
DRAWN: PBT

3RD FLOOR POWER PLAN

E-103R
15808624

ARCHIVE BAR CODE



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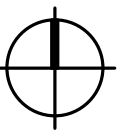
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ELECTRICAL: _____

MECHANICAL: _____

REVISIONS



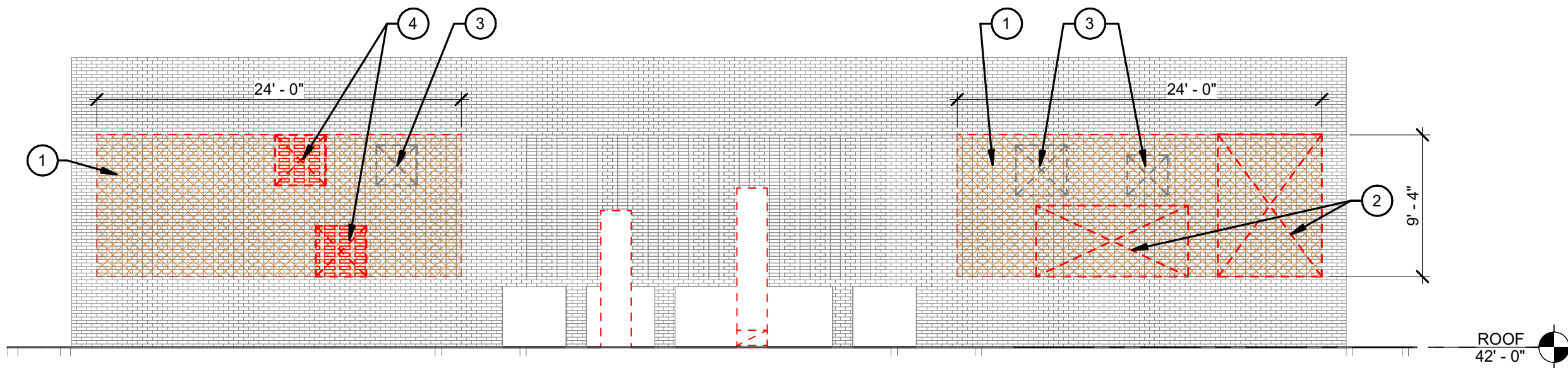
CHILD CARE CENTER
SWING SPACE AT
RPCC

DATE: FEBRUARY 29, 2024
FACILITY: 2116/3212
DESIGN: J. COOLBAUGH
DRAWN: JGC

PENTHOUSE WEST
ELEVATION - DEMO

ADD1-A1
15808624

ARCHIVE BAR CODE



1 PENTHOUSE WEST ELEVATION - DEMO
SCALE: 1/8" = 1'-0"

ADD1-A1 KEYED DEMOLITION NOTES

1	REMOVE EXISTING BRICKS IN THE HATCHED AREA. PREP AREA FOR WALL INFILL.
2	REMOVE EXISTING LOUVER. PREP AREA FOR METAL STUD INFILL.
3	PREP AREA FOR METAL STUD INFILL WHERE EXISTING LOUVERS WERE PREVIOUSLY REMOVED IN ANOTHER PROJECT.
4	REMOVE EXISTING LOUVER. PREP AREA FOR NEW LOUVER.



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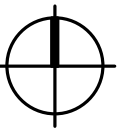
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ELECTRICAL: _____

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REVISIONS



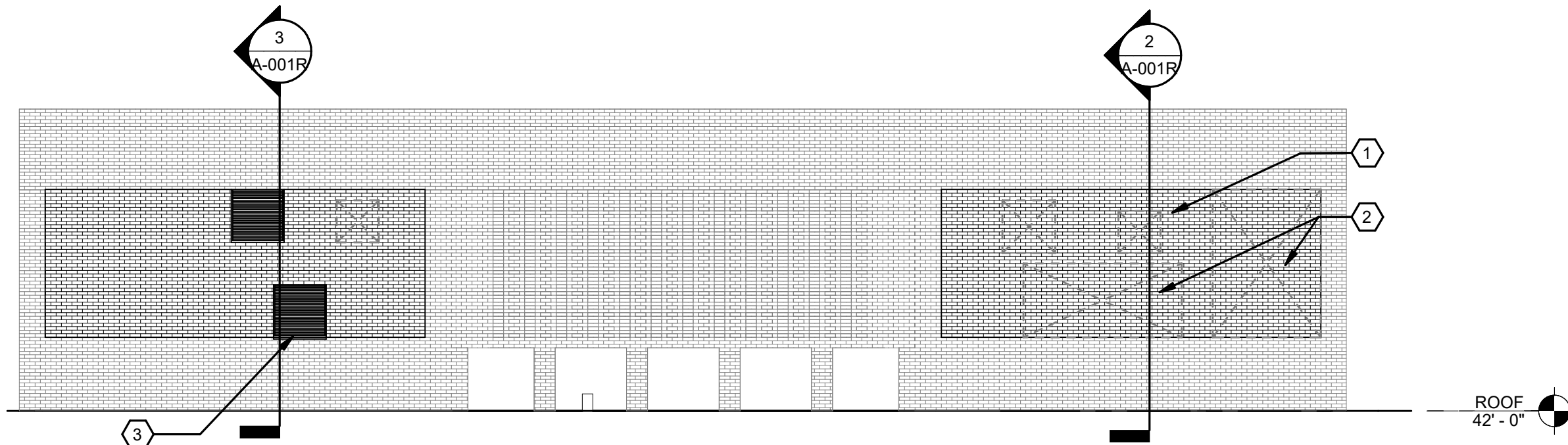
CHILD CARE CENTER
SWING SPACE AT
RPCC

DATE:	FEBRUARY 29, 2024
FACILITY:	2116/3212
DESIGN:	J. COOLBAUGH
DRAWN:	JGC

PENTHOUSE WEST
ELEVATION - RENO

ADD1-A2
15808624

ARCHIVE BAR CODE



3 PENTHOUSE WEST ELEVATION - RENO
SCALE: 1/8" = 1'-0"

ADD1-A1 KEYED RENOVATION NOTES

1	PROVIDE BRICK INFILL. REFER TO WALL SECTIONS ON A-001R FOR MORE INFORMATION.
2	PROVIDE METAL STUD INFILL AT CMU BACKUP WHERE EXISTING LOUVERS WERE REMOVED. REFER TO WALL SECTIONS ON A-001R FOR MORE INFORMATION.
3	PROVIDE NEW LOUVER. REFER TO WALL SECTIONS ON A-001R FOR MORE INFORMATION.

AIRFLOW SCHEDULE AHU-3

REHEAT COIL TAG	MINIMUM AIRFLOW (CFM)	SPACES SERVED
RHC-01	300	OFFICES
RHC-02	2200	MOVEMENT 1
RHC-03	600	STAFF BREAK, LACTATION
RHC-10	100	STORAGE
RHC-12	2200	PRESCHOOL
RHC-13	2200	PRESCHOOL
RHC-14	2200	PRESCHOOL
RHC-15	2000	TODDLER
RHC-16	2000	TODDLER
RHC-17	2000	TODDLER
RHC-18	2600	HALLWAY, MOVEMENT 2
RHC-19	1800	MOVEMENT 2
RHC-24	400	FOOD PREP

MINIMUM OUTDOOR AIR: 25%

NOTES:

AUTOMATED DAMPERS IN THE PENTHOUSE VARY FLOW TO EACH ZONE.
ADJUST SETPOINTS TO ACHIEVE DESIGNED FLOOR RATE.



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ARCH/ CIVIL: _____
ELECTRICAL: _____
MECHANICAL: _____

REVISIONS

1	04/01/24	ADDENDUM 1
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**CHILD CARE SWING
SPACE RPCC**

DATE:	APRIL 1, 2024
FACILITY:	2116/3212
DESIGN:	V. KRAMER
DRAWN:	VAK

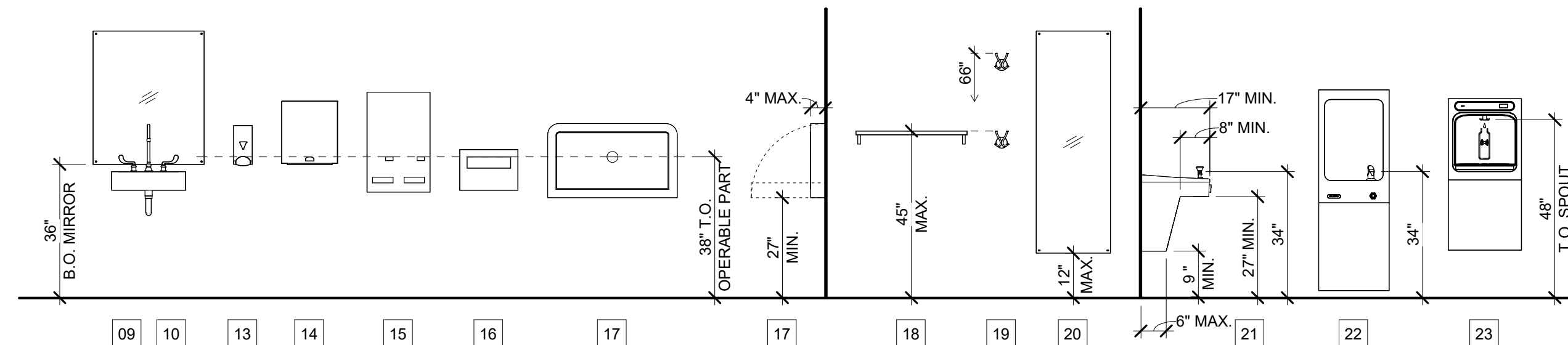
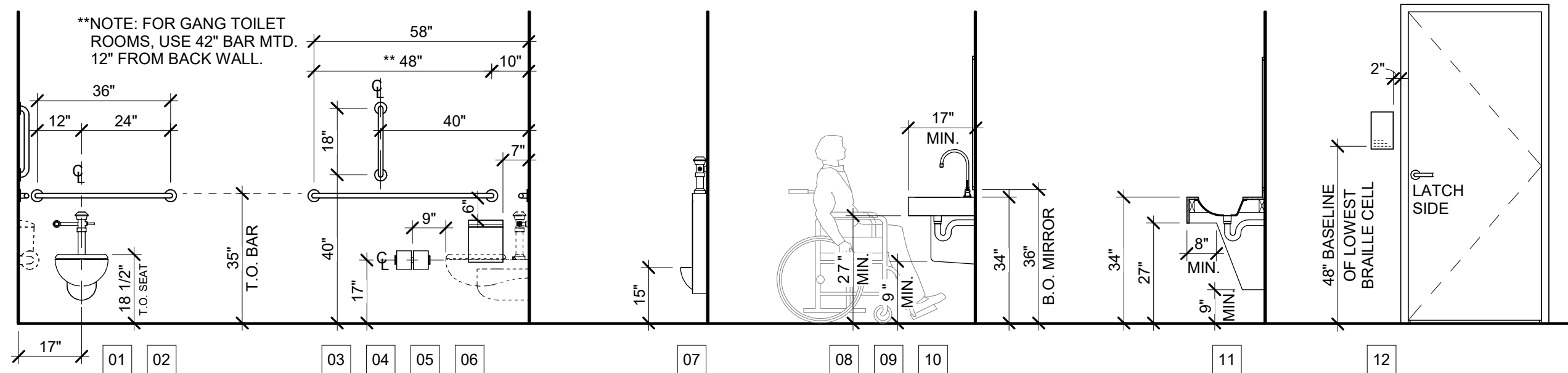
**AIRFLOW SCHEDULE
AHU-3**

REFER TO DRAWING M-301

ADD-M1

15808624

ARCHIVE BAR CODE



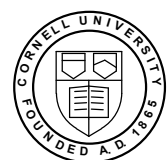
ADDITIONAL NOTES:

1. MOUNTING HEIGHTS FOR SOME FIXTURES MAY CHANGE DEPENDING ON THE SPECIFIC FIXTURE SELECTED. **ALL PROPOSED FIXTURES MUST BE REVIEWED AND APPROVED BY A CORNELL UNIVERSITY REPRESENTATIVE.**
2. THESE ARE SPECIFIC HEIGHTS SELECTED WITHIN THE RANGES ALLOWED BY THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND ICC A117.1-2009.
3. COMPLETE COMPLIANCE WITH ALL ASPECTS OF 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND ICC A117.1-2009 IS REQUIRED OF ALL PROJECTS AND ACTIVITIES.
4. ALL OPERABLE HARDWARE, INCLUDING DOOR HARDWARE AND TOILET PARTITION HARDWARE, TO BE LEVER TYPE.
5. AVOID MOUNTING GRAB BARS ON TOILET PARTITIONS WHEREVER POSSIBLE.
6. WHERE A LOOSE TRASH RECEPTACLE IS PROVIDED, ENSURE THAT RECEPTACLE LOCATION DOES NOT INTERFERE WITH ANY REQUIRED MANEUVERING CLEARANCES.
7. DOOR THRESHOLDS SHALL BE FLUSH WHEREVER POSSIBLE. THRESHOLD HEIGHT SHALL NOT EXCEED 1/8".

LEGEND

01 TOILET	09 WALL-MTD LAVATORY	17 BABY CHANGING STATION
02 36" GRAB BAR	10 LAVATORY MIRROR	18 SHELF
03 48" GRAB BAR	11 COUNTER-MTD LAVATORY	19 COAT/ BAG HOOK
04 18" GRAB BAR	12 ROOM SIGNAGE	20 FULL-LENGTH MIRROR
05 TOILET PAPER DISP.	13 SOAP DISPENSER	21 WALL-MTD DRINKING FOUNTAIN
06 SANITARY NAPKIN RECEPT.	14 PAPER TOWER DISPENSER	22 RECESSED DRINKING FOUNTAIN
07 URINAL	15 SANITARY NAPKIN DISP.	23 BOTTLE FILLING STATION
08 KNEE CLEARANCE	16 TOILET SEAT COVER DISP.	

SCALE: NONE



**CORNELL UNIVERSITY
DESIGN AND CONSTRUCTION STANDARDS**

ADA MOUNTING HEIGHTS FOR ACCESSORIES

REVIEWED BY:

REVISED BY: EWK

DATE:

DATE: 1/18/2024

A-000

RFI Form

RFI/ Response Index	Page/ Dwg./Spec./Rep. Number	Section/ Paragraph/Topic	RFI	Design Team Response
1	FFE		Please specify FFE (diaper changing stations, cubbies, etc) installation and take-down instructions / scope	See Addendum No. 1, Items 8, 12, 13, and 15.
2	Penthouse Masonry		How is the brick on the penthouse supported up top? Is there a lintel, or is the entire façade load-bearing?	See Addendum No. 1, Item 4, which includes revised wall sections.
3	Penthouse Louvers		Do all three penthouse hatched areas receive louvers?	See Addendum No. 1, Items 4, 6, and 11.
4	Asbestos		Please confirm no ACM removals are expected to be encountered as part of project.	Abatement will be completed by Owner prior to start of construction.
5	Milestone Schedule		Milestone dates have been provided for phase 2A and phase 2B on bid form page #BF-2. Are there certain milestone dates for Phase #1 and Phase #3 identified in spec 011100 summary of work?	The completion date of Phase 1 is at the contractor's discretion in order to meet the remaining milestone dates. The completion date of Phase 3 equals the project substantial completion date listed in the Bid Proposal Certification form, under paragraph 3.
6	Toilet Accessories		Please confirm the new T&B accessories will be by Owner.	See Addendum No. 1, Item 10.
7	A-105	Note 10	Note 10 / A-105: Please provide further detail / information for this note.	See Addendum No. 1, Item 14
8	Alternate 1		Please identify alternate #1 selective demolition work on plans.	See Addendum No. 1, Item 16
9	Glass Decal Stickers		Please provide a spec for the glass decal stickers.	See Addendum No. 1, Item 7
10	Bid Extension		Would it be possible to get a one day bid extension?	See Addendum No. 1, Item 1.